

LOT 162 SPARROWHAWK
CRESCENT, DEANSIDE

SINGLE DWELLING

12/09/2022

m³

info@m3.design

Unit 2/1 Bik Lane
Fitzroy North
3068

GENERAL NOTES

THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF M3 DESIGN. FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF M3 DESIGN DOES SO AT THEIR OWN RISK - AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY M3 DESIGN OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE THIS DRAWING - FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR - CONTACT THIS OFFICE IMMEDIATELY.

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS UNLESS OTHERWISE INDICATED.

-THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

-THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS.

WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

BCA AND STANDARDS - GENERAL

ALL WORKS SHALL COMPLY WITH THE BCA 2019 AND NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:

A.S 1288-2006 -GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
A.S 1562-2010 -DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
A.S 1684.2-2010 -NATIONAL TIMBER FRAMING CODE
A.S 1860-2006 -INSTALLATION OF PARTIALBOARD FLOORING
A.S 2047-2014 -WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS
A.S 2049- 2002 -ROOF TILES
A.S 2050-2018 -INSTALLATION OF ROOFING TILES
A.S 2870-2011 -RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
A.S 2904-1995 -DAMP PROOF COURSES AND FLASHINGS
A.S 3600- 2018 -CONCRETE STRUCTURES
A.S 3660.1- 2014 -PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDINGS
A.S 3700-2018 -MASONRY STRUCTURES
A.S 3740-2010 & BCA PART 3.8.1 -WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
A.S 3786-2014 -SMOKE ALARMS
A.S 4100-1998 -STEEL STRUCTURES
A.S 4256-1994/96 -PLASTIC ROOF AND WALL CLADDING MATERIALS

GLAZING

GLAZING SHALL COMPLY WITH AS1288-2006 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

1.ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR
2.BATHROOMS WITHIN 1500MM VERTICAL FROM THE BATH BAZE
3.LAUNDRY WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ALL DOORS
4.DOORWAY WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

STRUCTURAL REQUIREMENTS

-NO FOOTINGS ARE TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES. ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS 2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS 3600.

-ALL MASONRY CONSTRUCTION TO COMPLY WITH AS 3700 AND THE BUILDING CODE OF AUSTRALIA.

-ALL DAMP PROOF COURSES AND FLASHINGS MUST BE IN ACCORDANCE WITH AS 2904.

-STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS 4100.

-ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS 1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm.

-PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS 1684.

SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLYNTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.

CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING. REFER TO PART 3.4.1 DIAGRAM B OF BCA 2009 FOR SUB-FLOOR VENTILATION DETAILS.

ROOF TRUSSES

ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

STAIRS, LANDINGS AND BALUSTRADES

1.STAIRS, STAIRWAYS AND BALUSTRADES TO COMPLY WITH BCA 3.9.1 AND 3.9.2.

STAIR REQUIREMENTS: (OTHER THAN SPIRAL STAIRS)
RISERS 190MM MAXIMUM, 115MM MINIMUM;
GOING 355MM MAXIMUM,240MM MINIMUM;
PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

2.PROVIDE NONSLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISES. PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM.

3.HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL. 865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.

4.MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.
CONTINUOUS HANDRAIL TO BE INSTALLED TO ONE SIDE OF STAIR COMPLIANT WITH PART 3.9.2.4 OF THE BCA2019

LIGHTING

1. ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS 1680.0-2009
2. ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH PART 3.12.5.5 OF THE BCA 2019

THRESHOLDS

IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900MM WIDE X 900MM LONG, WHICHEVER IS GREATER.

INSULATION

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.

TERMITE AND CORROSION PREVENTION

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS 3660.1

PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH BCA VOL.2 TABLE 3.3.3.2.

PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA VOL.2 TABLE 3.5.1.

CORROSION

FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALT WATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.

BUSHFIRE DESIGN INFORMATION

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS 3959.2009, WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE IMMEDIATELY.

STORMWATER AND DRAINAGE

STORMWATER SHALL COMPLY WITH AS/NZS 3500.3-2003

1. STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
2. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS

INSPECTION OPENINGS TO BE AT 9000mm CTRS AND AT EACH CHANGE OF DIRECTION.

PROVIDE 100mm DIA UPVC PIPES
PROVIDE 75mm DIA DOWNPIPES
PROVIDE A MINIMUM FALL GRADIENT OF 1:100

BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER.
THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:

100mm UNDER SOIL
50mm UNDER PAVED OR CONCRETE AREAS
100mm UNDER UN-REINFORCED CONCRETE OR PAVED DRIVEWAYS
75mm UNDER REINFORCED CONCRETE DRIVEWAYS

ALL BOX GUTTERS TO BE A MINIMUM OF 100mm x 200mm UNLESS OTHERWISE SPECIFIED - 1:100 GRADE MINIMUM - ADJUST TO SUIT ON SITE.

SEWER AND SEPTIC SYSTEMS TO BE IN ACCORDANCE WITH AS 3500

SURFACE WATER TO BE DIVERT AWAY FROM THE SLAB-ON-GROUND SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1M FROM THE BUILDING

THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

WATER PROOFING

1.WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH PART 3.8.1 OF THE BCA AND AS 3740-2010 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
2.BALCONY WATERPROOF MEMBRANE TO BE SELECTED IN ACCORDANCE WITH AS 4654.1-2012 AND SHALL BE INSTALLED IN ACCORDANCE WITH AS 4654.2-2010

PLIABLE BUILDING MEMBERANE WHERE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH AS/NZS 4200.1 & TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

VENTILATION

1.MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE BCA
2.PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICLEBOARD FLOORING OR 300MM WHERE IN TERMITE PRONE AREA
3.VENTILATION OF ROOF SPACES TO BE IN ACCORDANCE WITH NCC 2019 VOLUME TWO CLAUSE 3.8.7.4

SUB FLOOR VENTS TO PROVIDE A RATE OF 6000MM SQ. CLEAR VENTILATION PER 1000MM RUN OF EXTERNAL MASONRY WALL A

SMOKE ALARMS

LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2014 AND PART 3.7.2 OF THE BCA 2016 AND SHALL BE HARD WIRED WITH BATTERY BACKUP.

MASONARY

1.MASONRY TO COMPLY WITH AS3700-2018
2.PROVIDE WALL TIES TO BRICKWORK AS PER 3.3.3.2. BCA. GENERALLY WALL TIES TO BE 600MM CTRS IN EACH DIRECTION FOR CAVITY MASONRY. FOR MASONRY VENEER: 600X450 FOR 450 STUD WALLS AND 600X600 FOR 600 STUD WALLS AND WITHIN 300MM OF ARTICULATION JOINTS.
3.PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS
2200MM SQ. CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS
4.SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.
5.WEEP HOLES TO BE PROVIDED AT 1.2M CENTRES AND ABOVE OPENINGS GREATER THAN 1.2M
6.PROVIDE THE FOLLOWING DAMP-PROOF COURSE CLEARANCES:
I) 150MM ABOVE EXTERNAL GROUND LEVEL
II) 75MM ABOVE EXTERNAL FINISHED PAVING LEVEL IN ACCORDANCE WITH AS3700.
III) 50MM ABOVE EXTERNAL PAVED SURFACES WHERE COVERED
7. ARTICULATION JOINTS ADJACENT TO OPENINGS SHALL BE CONTINUES.

ROOF

1.ROOF STORMWATER DRAINAGE SHALL BE IN ACCORDANCE WITH AS3500.3-2018
2.METAL ROOFING AND CLADDING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS1562.1-2018

BALUSTRADE

1.INTERLINKING HANDRAIL TO BE PROVIDED TO GLASS BALUSTRADES.
2.GLASS BALUSTRADE SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH SECTION 7 OF AS1288-2006.
3.BALUSTRADE TO BE MINIMUM 1M IN HEIGHT AND SHALL NOT HAVE ANY GAPS GREATER THAN 125MM.

OTHER GENERAL NOTES

(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3786. THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK-UP.

(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL EXHAUST FANS TO OUTSIDE AIR WHERE POSSIBLE -OR, AN EXHAUST FAN OF RATING 140/S MIN TO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000mm HORIZONTAL DUCT - IN ACCORDANCE WITH AS 1668. EXTERNAL DISCHARGE RATE MINIMUM 25l/S.

SANITARY COMPARTMENT DOORS MUST EITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE UNLESS A MINIMUM CLEARANCE OF 1200mm BETWEEN THE DOOR AND THE PAN IS ACHIEVED.

SUBFLOOR

ALL SUB-FLOOR CONSTRUCTION AS PER ENGINEERS DESIGN & SPECIFICATIONS.
REFER TO ENGINEERS DRAWINGS AND COMPUTATIONS.

EXTERNAL FINISHES

EXTERNAL FINISHES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS. ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AUSTRALIAN STANDARDS.

WINDOWS

ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS.

WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES.

BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY.

WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY.

BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.

ALL GLAZING MUST COMPLY WITH AS 1288

ALL WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE UNLESS OTHERWISE STATED.

ALL WINDOWS AND DOORS TO BE IN ACCORDANCE WITH AS2047-2014.

PROJECT SUMMARY

LOT 162 SPARROWHAWK CRESCENT, DEANSIDE

SINGLE DWELLING

DRAWING LIST - CONSTRUCTION DOCUMENTATION				
SHEET NUMBER	SHEET NAME	CURRENT REVISION	DATE	DESCRIPTION
A.0	PROJECT SUMMARY	B	12/09/2022	Issue for Building Permit
A.100	SITE PLAN	C	24/10/2022	Issue & Response to BS Checklist
A.200	GROUND FLOOR	C	24/10/2022	Issue & Response to BS Checklist
A.300	SHADOW DIAGRAM	B	24/10/2022	Issue & Response to BS Checklist
A.701	ELECTRICAL PLAN - GROUND FLOOR	B	12/09/2022	Issue for Building Permit
A.800	ELEVATIONS - C	B	24/10/2022	Issue & Response to BS Checklist
A.900	SECTIONS	B	12/09/2022	Issue for Building Permit
A.1000	FINISHES SCHEDULE	B	12/09/2022	Issue for Building Permit
A.1100	LANDSCAPE PLAN	B	12/09/2022	Issue for Building Permit

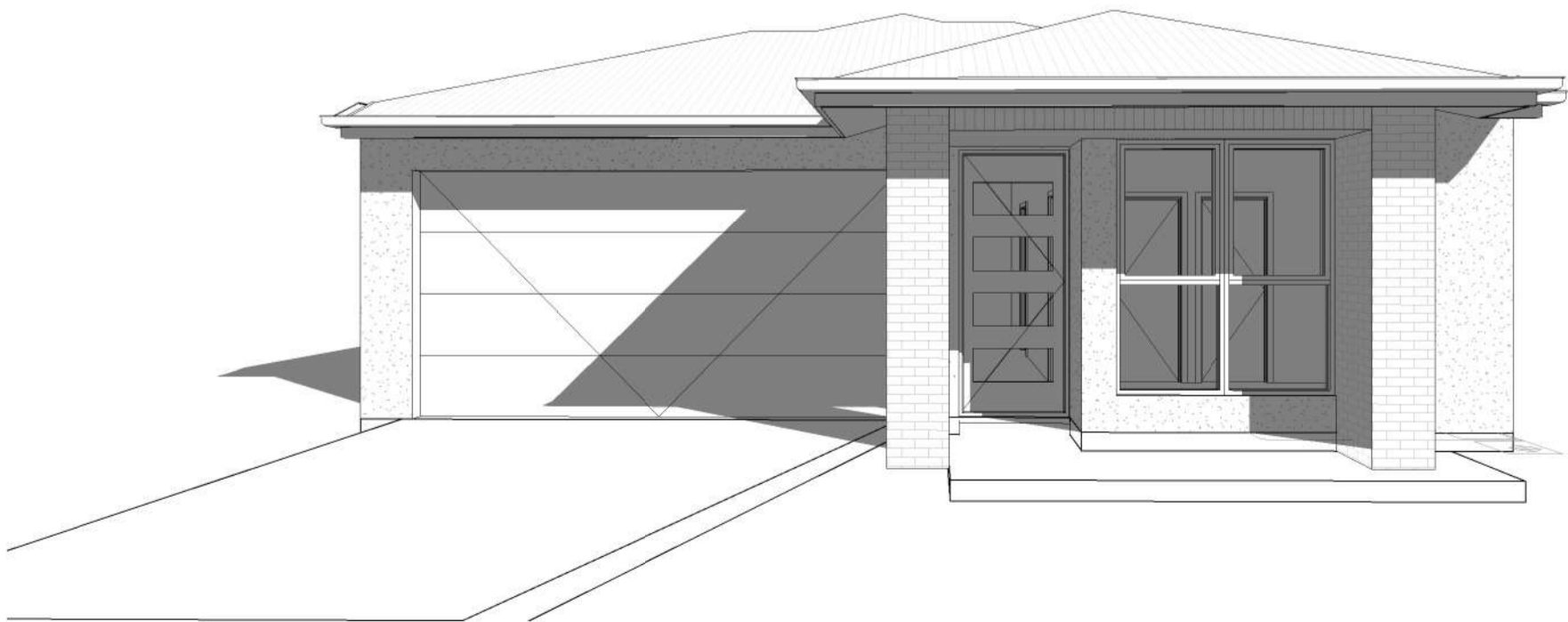
AREA SCHEDULE

SITE

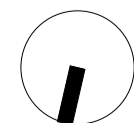
SITE AREA: 262 m²
SITE COVERAGE: 63.2% 165.60 m²
SITE PERMEABILITY: 23% 60.43 m²
POS: 38.38 m²

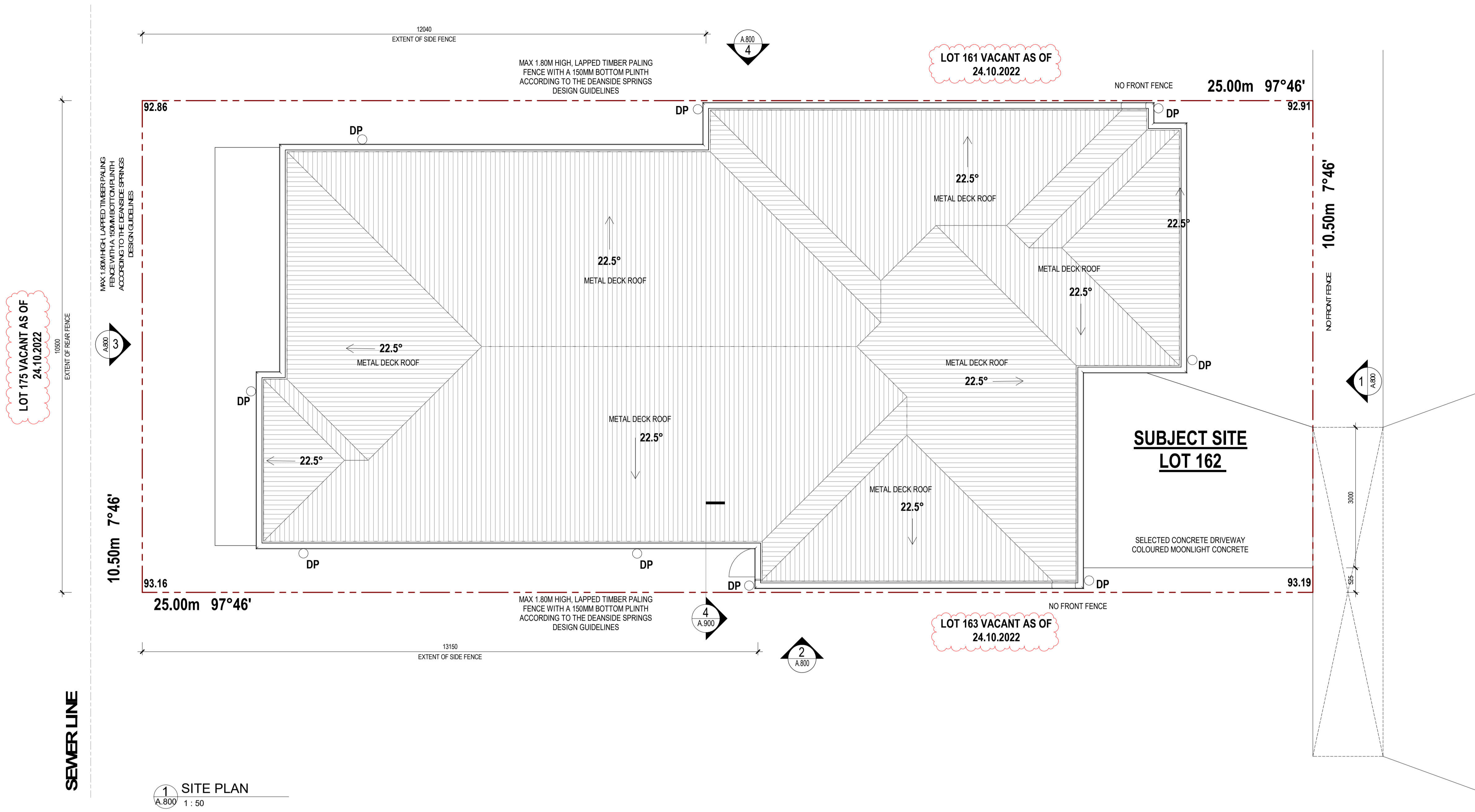
DWELLING: 127.84 m²
GARAGE: 32.76 m²
PORCH: 5.00 m²

TOTAL AREA 165.60 m²



Rev	Description	Date
A	Issue for DA	08/08/2022
B	Issue for Building Permit	12/09/2022





GA LEGEND

GENERAL ANNOTATIONS

- A/C AIR CONDITIONER CONDENSOR ON RUBBER MOUNT
- AJ ARTICULATION JOINT
- BOX GUTTER
- BC BROOM CUPBOARD
- CTUB COOKTOP WITH UNDER BENCH OVER RANGEHOOD TO SUIT
- DW DISHWASHER
- SB ELECTRICAL SWITCHBOARD
- GM GAS METER
- HR HAND RAIL
- OH OVERHEAD CUPBOARD
- REF. FRIDGE
- ROOF SLOPE
- SK KITCHEN SINK
- TR LAUNDRY TROUGH
- VB VANITY BASIN
- WC WATER CLOSET/TOILET PAN
- WM WATER METER
- WM WASHING MACHINE WITH DRYER SPACE ABOVE
- WS WINDOW SHROUD
- DASHED AREA ABOVE - DENOTES FLOOR OR BALCONY ABOVE

WALL ON BOUNDARY

- WALL ON BOUNDARY TO BE INSTALLED FROM THE INSIDE OUT
- BATTENS SCREWED ON TO WALL FROM CAVITY
- HEBEL TO BE SCREWED FROM INSIDE OUT
- INSULATION PAPER TO BE INSTALLED BETWEEN STUDS

WALL TYPES

- TIMBER FRAMED WALL
- HEBEL VENEER WALL 165MM OVERALL
- BRICK VENEER WALL
- DOUBLE BRICK WALL

TAGS

- WINDOW TAG
- DOOR TAG
- DOOR WIDTH TAG
- WALL TYPE TAG

EXTERNAL SHADING DEVICES

- EXTERNAL VENETIAN BLINDS - EVAYA OR SIMILAR POWDERCOAT BLACK

HYDRAULIC

- DP DOWNPIPE - 100MM Ø COLORBOND
- FW01 EXTERNAL FLOOR WASTE - PATH (SQUARE)

MECHANICAL

- EF 250MM Ø EXHAUST FAN DUCTED DIRECTLY TO OUTSIDE AIR
- WD WASTE DUCT. PROVIDE LAGGING TO ALL PIPES WITHIN RISER.
- SERVICE RISER

ENSURE CONDENSATION MANAGEMENT PART 3.8.7 IS ACHIEVED. THIS IS ONLY REQUIRED IF ALL EXHAUST FANS (WOK/KITCHEN ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH PART 3.8.7.3 (B)(i) THEN NO NEED FOR 'WHIRLY BIRDS'.

FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS - PART 3.8.7.3: AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF--
 i) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
 ii) 40 L/S FOR A KITCHEN OR LAUNDRY.

ROOF

- MD1 METAL DECK ROOF - STANDARD PROFILE METAL TRAY ROOF COLOUR: WOODLAND GREY

- DP DOWNPIPE - 100mm Ø COLORBOND
- EG EAVES GUTTER
- POP POP
- RANGEHOOD EXHAUST
- RH RANGEHOOD
- S.V SEWER VENT
- SMP SUMP
- RHP ROOF HARNESS POINT - INSTALLED TO RELEVANT AUSTRALIAN STANDARD

ALL SERVICE ITEMS VISIBLE FROM GROUND LEVEL ON ROOF TO BE PAINTED TO MATCH ROOF SHEETING (MATCHMENT MATTE)

RECYCLED WATER NOTES

- §1 DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY.
- §2 ALL DWELLINGS ARE TO BE CONNECTED TO RECYCLED WATER AND PLUMBED TO A FRONT AND REAR OUTDOOR TAP AS WELL AS ALL TOILETS AS A MINIMUM

TELECOMMUNICATION NOTE

THIS DWELLING MUST BE PREPARED IN ACCORDANCE WITH OPTICOMM REQUIREMENTS FOR CONNECTION TO TELEPHONE HIGH SPEED INTERNET SERVICES

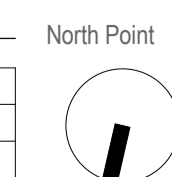
LIGHTING NOTE

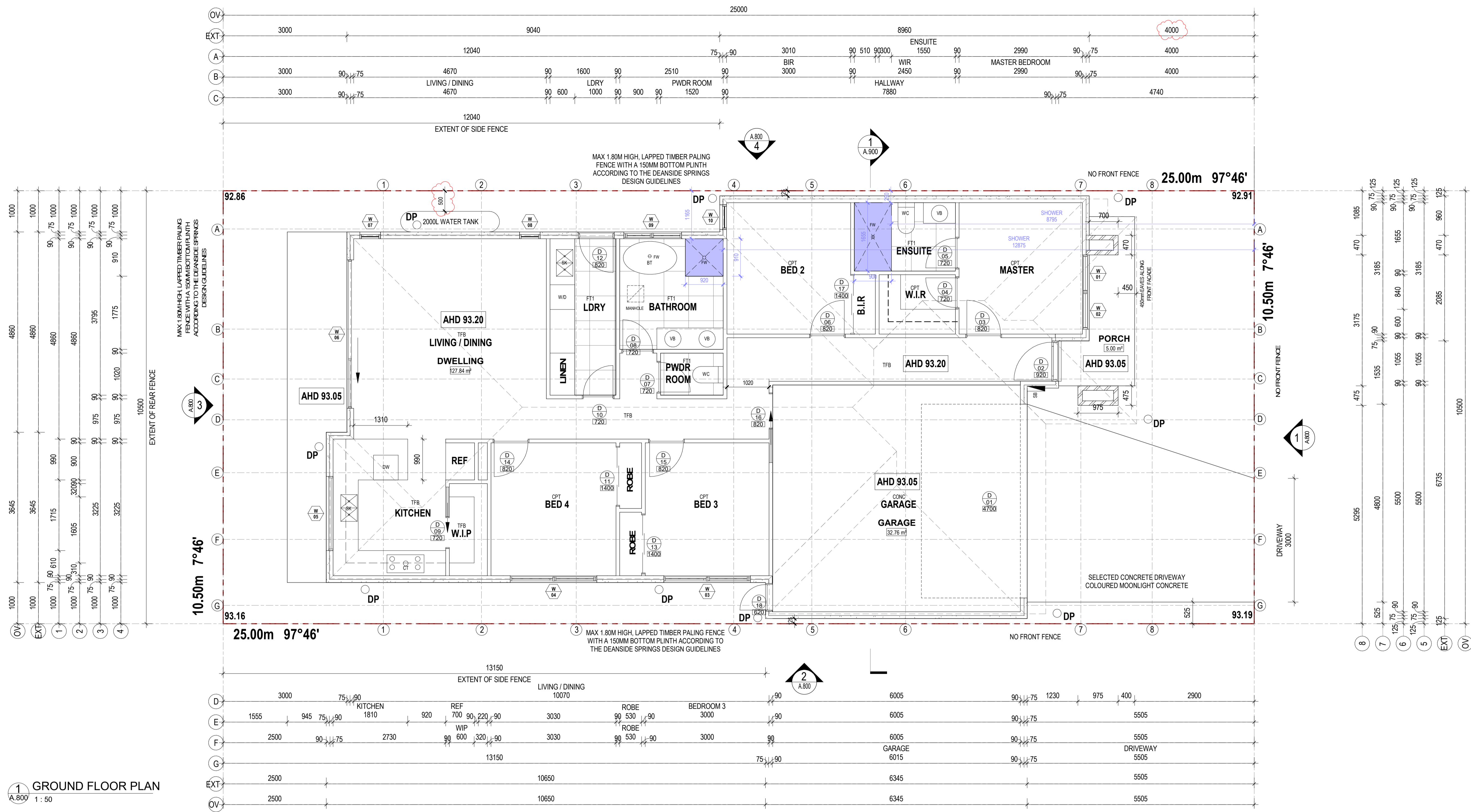
EXTERNAL LIGHTING MUST MEET THE STANDARDS OF SECTION 4.3 ENERGY EFFICIENCY & LIGHTING OF THE DEANSIDE SPRINGS DESIGN GUIDELINES

SERVICES NOTE

ANY OUTBUILDINGS, SHEDS, COOLING AND/OR HEATING, SERVICES EQUIPMENT, AND OTHER ANCILLARY ITEMS MUST MEET REQUIREMENTS OF SECTION 4 OF THE DEANSIDE SPRINGS DESIGN GUIDELINES

Rev	Description	Date
A	Issue for DA	08/08/2022
B	Issue for Building Permit	12/09/2022
C	Issue & Response to BS Checklist	24/10/2022





1 GROUND FLOOR PLAN
A.800 1:50

GA LEGEND

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- W.M. WASHING MACHINE WITH DRYER SPACE ABOVE
- WS WINDOW SHROUD
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- DOOR TAG
- DOOR WIDTH TAG
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- WD WASTE DUCT. PROVIDE LAGGING TO ALL PIPES WITHIN RISER
- SERVICE RISER

ENSURE CONDENSATION MANAGEMENT PART 3 & 7 IS ACHIEVED. THIS IS ONLY REQUIRED IF ALL EXHAUST FANS (WCKITCHEN ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH PART 3.8.7.3 (B)(I) THEN NO NEED FOR 'WHIRLY BIRDS'.

FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS - PART 3.8.7.3: AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF—
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- POP POP
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- RH RANGEHOOD
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- SMP SUMP
- RHP ROOF RAINFALL POINT - INSTALLED TO RELEVANT AUSTRALIAN STANDARD

RECYCLED WATER NOTES

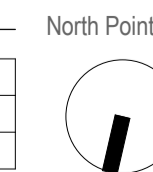
1 DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY.

2 ALL DWELLINGS ARE TO BE CONNECTED TO RECYCLED WATER AND PLUMBED TO A FRONT AND REAR OUTDOOR TAP AS WELL AS ALL TOILETS AS A MINIMUM

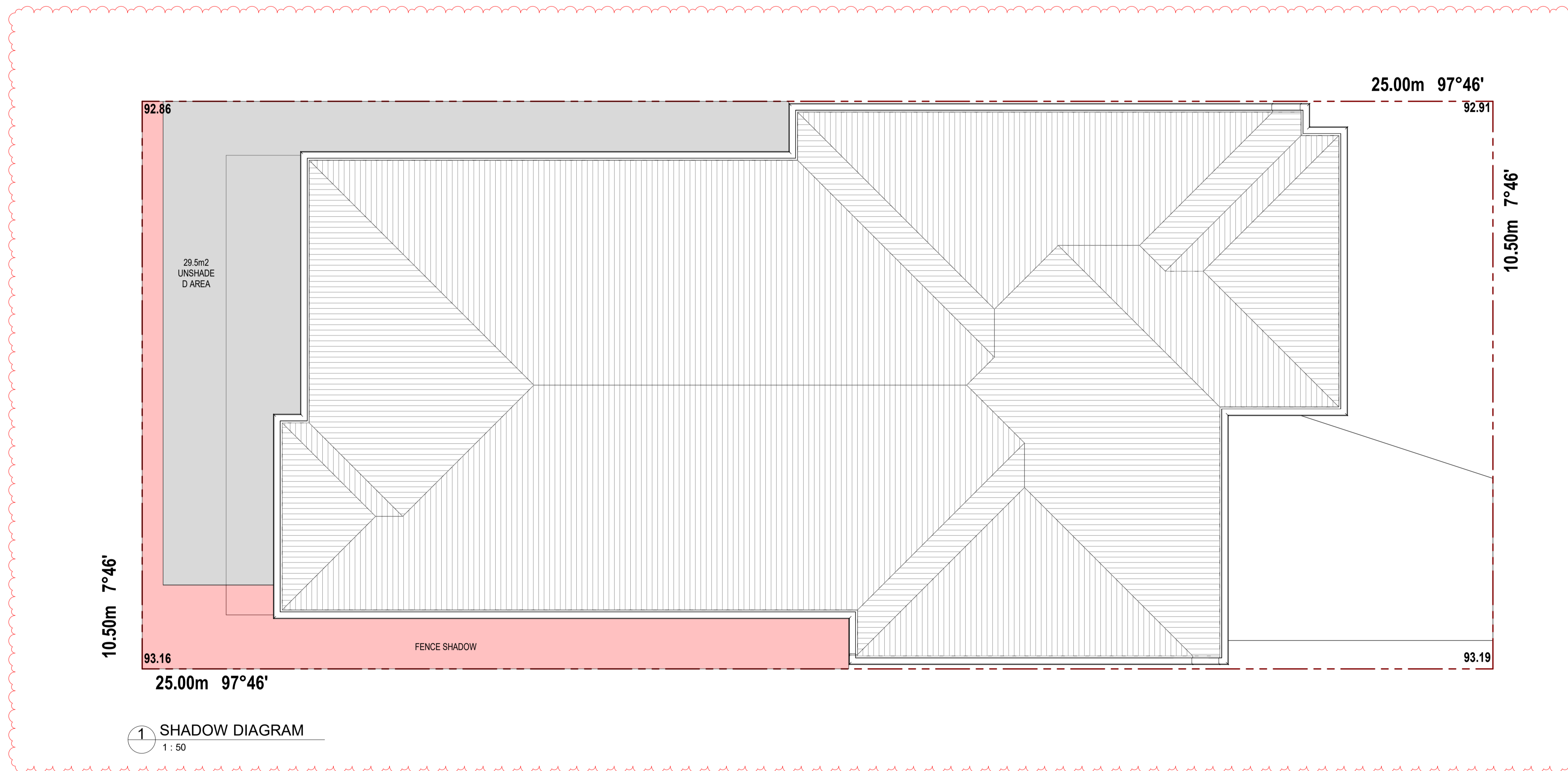
WALL ON BOUNDARY
 - WALL ON BOUNDARY TO BE INSTALLED FROM THE INSIDE OUT
 - BATTENS SCREWED ON TO WALL FROM CAVITY
 - HEBEL TO BE SCREWED FROM INSIDE OUT
 - INSULATION PAPER TO BE INSTALLED BETWEEN STUDS

- WALL TYPES**
- TIMBER FRAMED WALL
 - HEBEL VENEER WALL
 - BRICK VENEER WALL
 - DOUBLE BRICK WALL

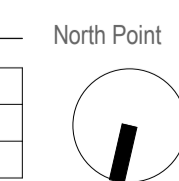
Rev	Description	Date
A	Issue for DA	08/08/2022
B	Issue for Building Permit	12/09/2022
C	Issue & Response to BS Checklist	24/10/2022

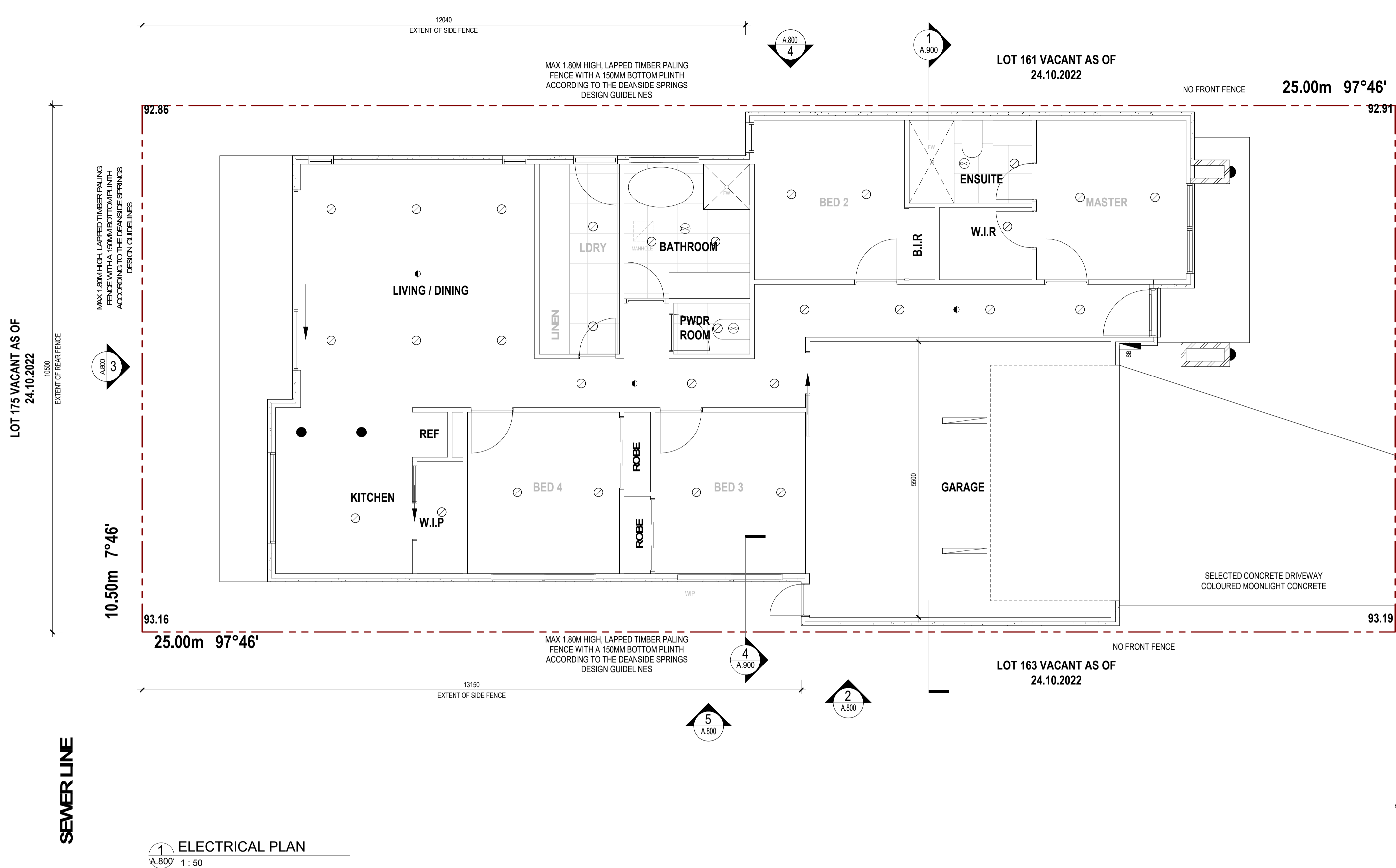


SPARROWHAWK CRESCENT



Rev	Description	Date
A	Issue for DA	08/08/2022
B	Issue & Response to BS Checklist	24/10/2022





ELECTRICAL PLANS LEGEND

- GENERAL ANNOTATIONS**
- EXHAUST FAN - AIR 10M³/HR
 - CONDUIT UNDER CSOG FOR S/B
 - LOW VOLTAGE DOWNLIGHT - 10 WATT MAX
 - CEILING LIGHT POINT - 25 WATT MAX
 - ELECTRICAL SWITCHBOARD SEMI-RECESSED TO STUD WALLS
 - MOTION SENSOR
 - DATA POINT (DAP)
 - TV POINT (TVP)
 - POWERPOINT - SINGLE (SP) GENERALLY 150MM ABOVE FFL OR BENCHTOP
 - POWERPOINT - DOUBLE (DP) GENERALLY 150MM ABOVE FFL OR BENCHTOP
 - POWERPOINT - EXTERNAL DOUBLE (EDP) (WEATHERPROOF), GENERALLY XXMM (HEIGHT)
 - RISER
 - SELF-CONTAINED SMOKE ALARM
 - RANGEHOOD
 - WALL MOUNTED LIGHT - 20 WATT MAX
 - FLUORESCENT LIGHT - 50 WATT MAX
 - VIDEO INTERCOM
 - EXTERNAL UPLIGHT
 - EXTERNAL BOLLARD LIGHT
 - PENDANT LIGHT
 - METERBOX

ELECTRICAL NOTES

- PROVIDE LIGHT AND POWER WITHIN ROOF SPACE NEAR ACCESS POINT FOR HEATER AND FUTURE COOLING UNIT. CONFIRM HEATER LOCATION.
- PROVIDE POWER FOR DUCTED VACUUM SYSTEM, INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE INSTALLATION OF ALARM UNIT AND SENSORS, INCLUDING POWER AND PHONE CONNECTION AT MAIN UNIT. LOCATION TO BE ADVISED BY CLIENT.
- PROVIDE SEPARATE CIRCUITS FOR KITCHEN APPLIANCES, HEATING AND COOLING UNITS, GARAGE POWER POINTS, POOL EQUIPMENT, OUTDOOR POWER POINTS, LIGHTING AND LAUNDRY.
- SUPPLY AND INSTALL TV ANTENNA TO MANUFACTURERS SPECIFICATION WITH CONNECTION TO ALL NOMINATED POINTS. INSURE POWER POINT AT EACH TV ANTENNA LOCATION.
- SUPPLY POWER POINT TO DISHWASHER LOCATION, COOKTOP, WALL OVEN, RANGEHOOD, Fridge RECESS, WASHING MACHINE AND APPLIANCE CUPBOARD LOCATIONS.
- PROVIDE POWER FOR HOT WATER SERVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE POWER FOR WATER TANK PUMP SYSTEMS AT TANK LOCATION.
- PROVIDE POWER TO THE GARAGE CEILING FOR AUTOMATIC DOOR UNIT AND ROOF TOP STORAGE AREA.
- PROVIDE POWER TO SPA BATH PUMP.

RECYCLED WATER NOTES

- 5.1** DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY.
- 5.2** ALL DWELLINGS ARE TO BE CONNECTED TO RECYCLED WATER AND PLUMBED TO A FRONT AND REAR OUTDOOR TAP AS WELL AS ALL TOILETS AS A MINIMUM.

1 ELECTRICAL PLAN
A.800 1:50

LIGHT + VENTILATION

LIGHT & VENTILATION - MASTER BEDROOM				WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)	W 01	1.9 m ²	1.1 m ²
MASTER BEDROOM	10.35 m ²	1.04 m ²	0.52 m ²	W 02	1.9 m ²	1.1 m ²
	10.35 m ²	1.04 m ²	0.52 m ²		3.8 m ²	2.1 m ²

LIGHT & VENTILATION - BEDROOM 2				WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)	W 10	1.1 m ²	1.1 m ²
BEDROOM 2	10.28 m ²	1.03 m ²	0.51 m ²		1.1 m ²	1.1 m ²
	10.28 m ²	1.03 m ²	0.51 m ²			

LIGHT & VENTILATION - BEDROOM 3				WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)	W 03	1.6 m ²	0.8 m ²
BEDROOM 3	10.35 m ²	1.04 m ²	0.52 m ²		1.6 m ²	0.8 m ²
	10.35 m ²	1.04 m ²	0.52 m ²			

LIGHT & VENTILATION - BEDROOM 4				WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)	W 04	1.6 m ²	0.8 m ²
BEDROOM 4	10.45 m ²	1.05 m ²	0.52 m ²		1.6 m ²	0.8 m ²
	10.45 m ²	1.05 m ²	0.52 m ²			

LIGHT & VENTILATION - KITCHEN, LIVING, DINING				WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)	W 05	1.1 m ²	0.6 m ²
KITCHEN, LIVING, DINING	34.20 m ²	3.42 m ²	1.71 m ²	W 06	7.8 m ²	5.0 m ²
	34.20 m ²	3.42 m ²	1.71 m ²	W 07	0.9 m ²	0.9 m ²
				W 08	0.9 m ²	0.9 m ²
					10.4 m ²	6.8 m ²

POWER ILLUMINATION

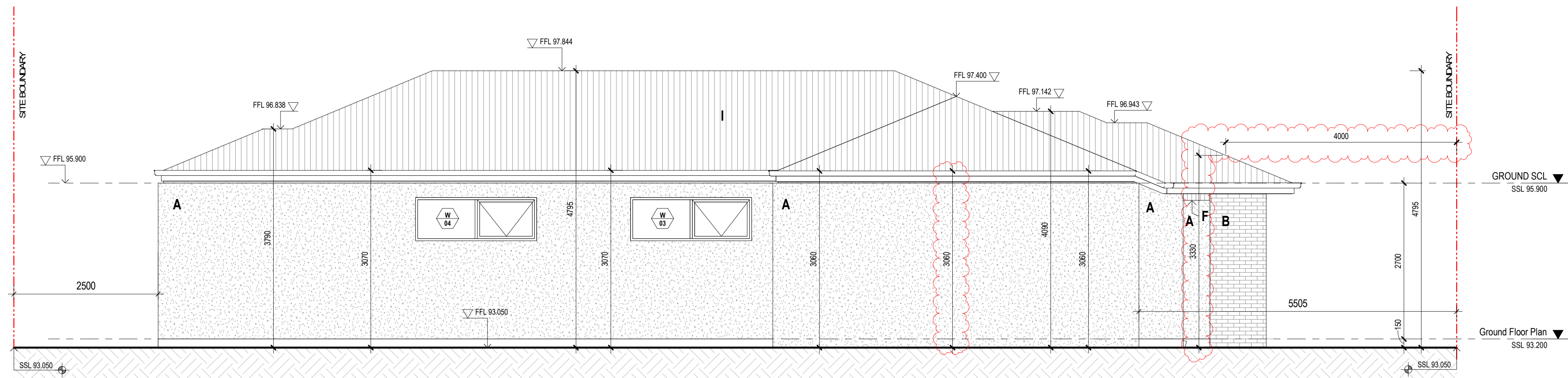
POWER ILLUMINATION - DWELLING					
ZONE	AREA (m ²)	CONSUMPTION ALLOWED (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE: DOWNLIGHT	TOTAL OUTPUT (Watts)
DWELLING	127.84 m ²	639.20 m ²	127	5	635

POWER ILLUMINATION - PORCH					
ZONE	AREA (m ²)	CONSUMPTION ALLOWED (Watt)	NUMBER	OUTPUT (WATTS): 4 TYPE: EXT WALL LIGHT	TOTAL OUTPUT (Watts)
PORCH	5.00 m ²	19.99 m ²	3	4	12

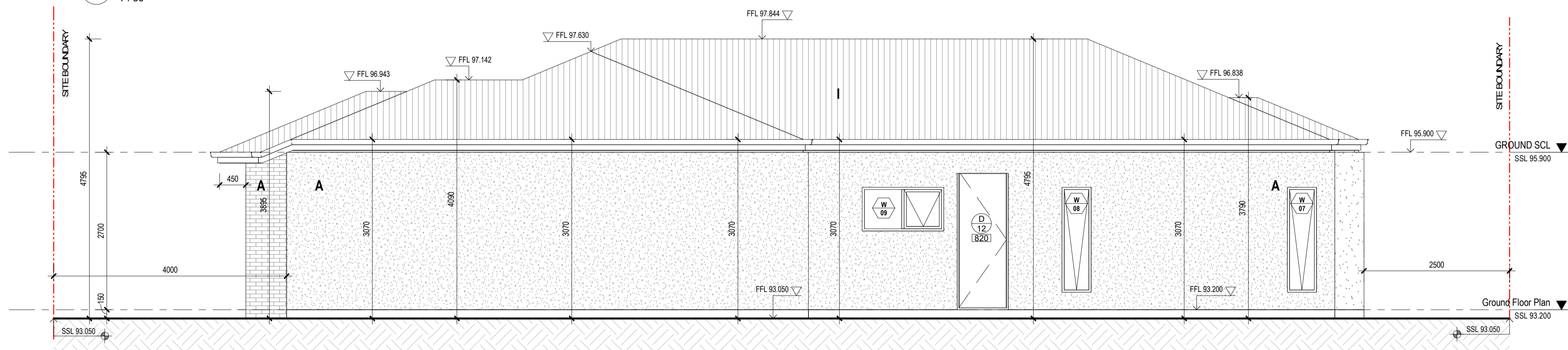
POWER ILLUMINATION - GARAGE					
ZONE	AREA (m ²)	CONSUMPTION ALLOWED (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE: FLUORESCENT	TOTAL OUTPUT (Watts)
GARAGE	32.76 m ²	98.27 m ²	19	3	57

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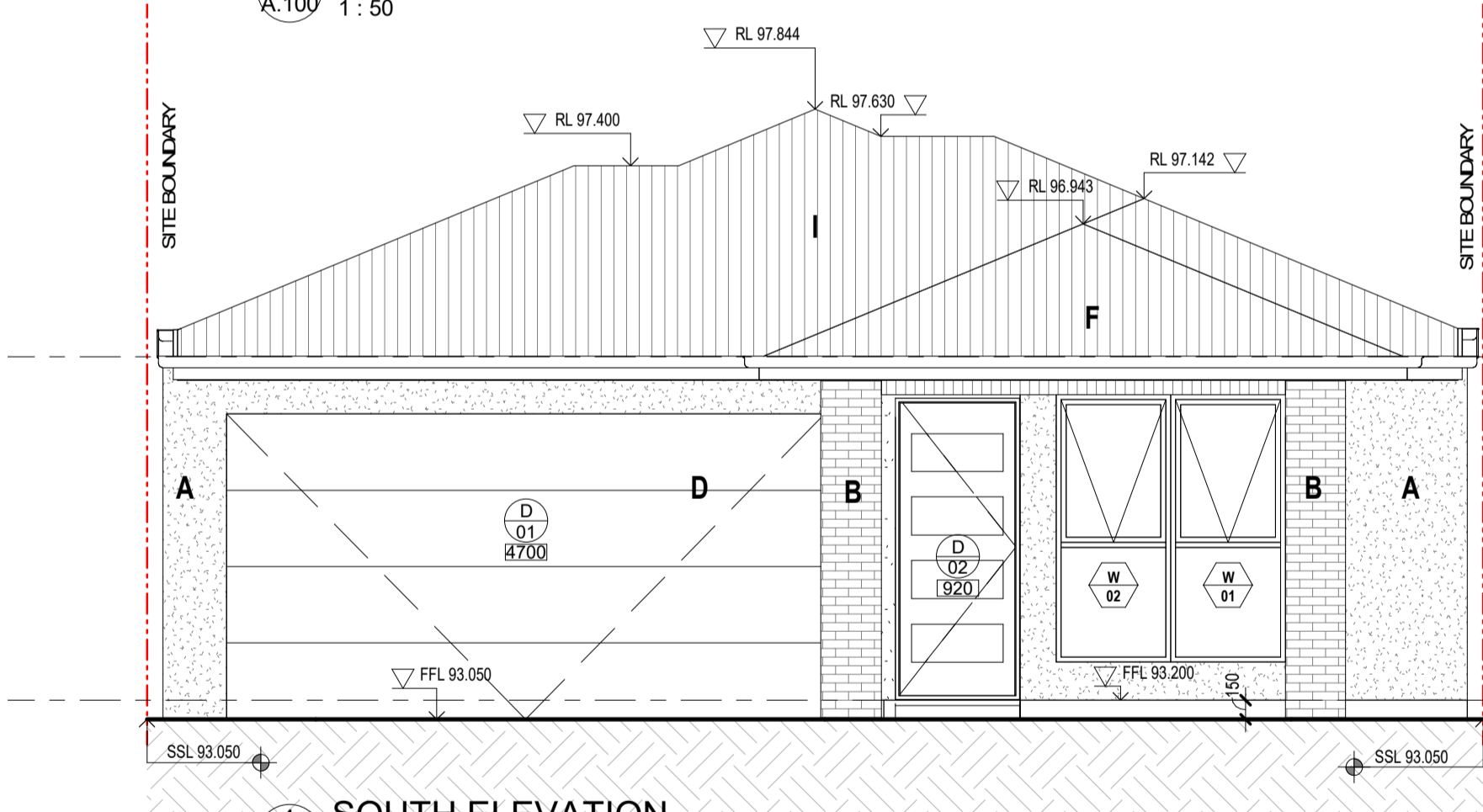




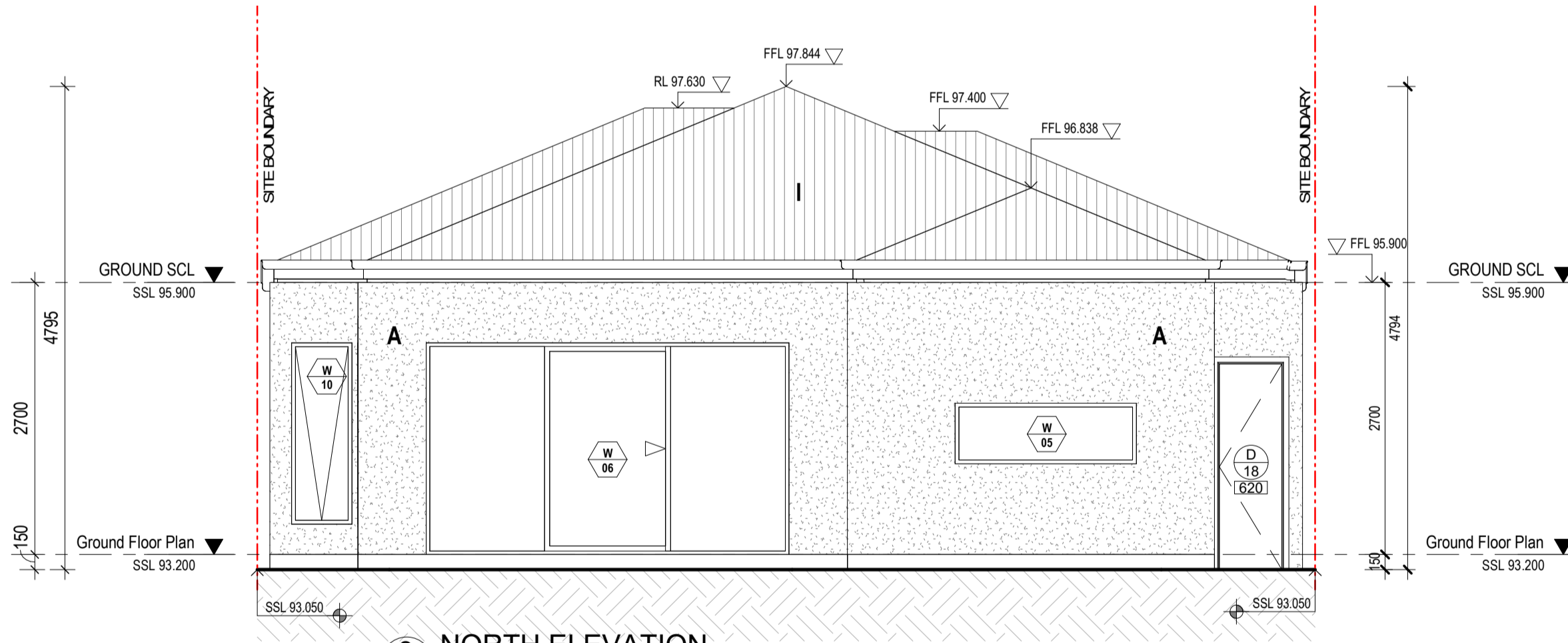
2 EAST ELEVATION
A.100 1:50



4 WEST ELEVATION
A.100 1:50



1 SOUTH ELEVATION
A.100 1:50



3 NORTH ELEVATION
A.100 1:50

LEGEND

- AJ ARTICULATION JOINT
 - FCL FINISHED CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - WP WEEPHOLE
- NOTE: ARTICULATION JOINTS TO BE CONFIRMED ON SITE WITH CONTRACTOR AND SUB-CONTRACTOR
- WEEPHOLE NUMBER AND LOCATION TO RELEVANT AUSTRALIAN STANDARD.

FENCE TYPES

- FT01 DOUBLE BRICK FENCE
- FT02 TIMBER PALING FENCE/GATE
- FT03 COLORBOND FENCE

SCREENS

- SC 01 COLORBOND MONUMENT

BALUSTRADE TYPES

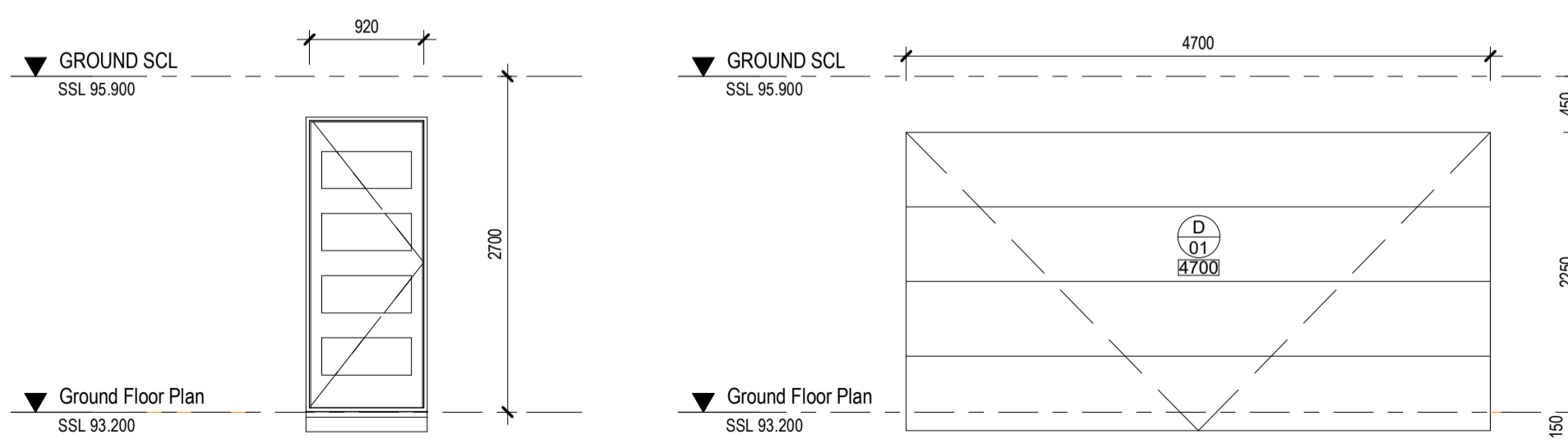
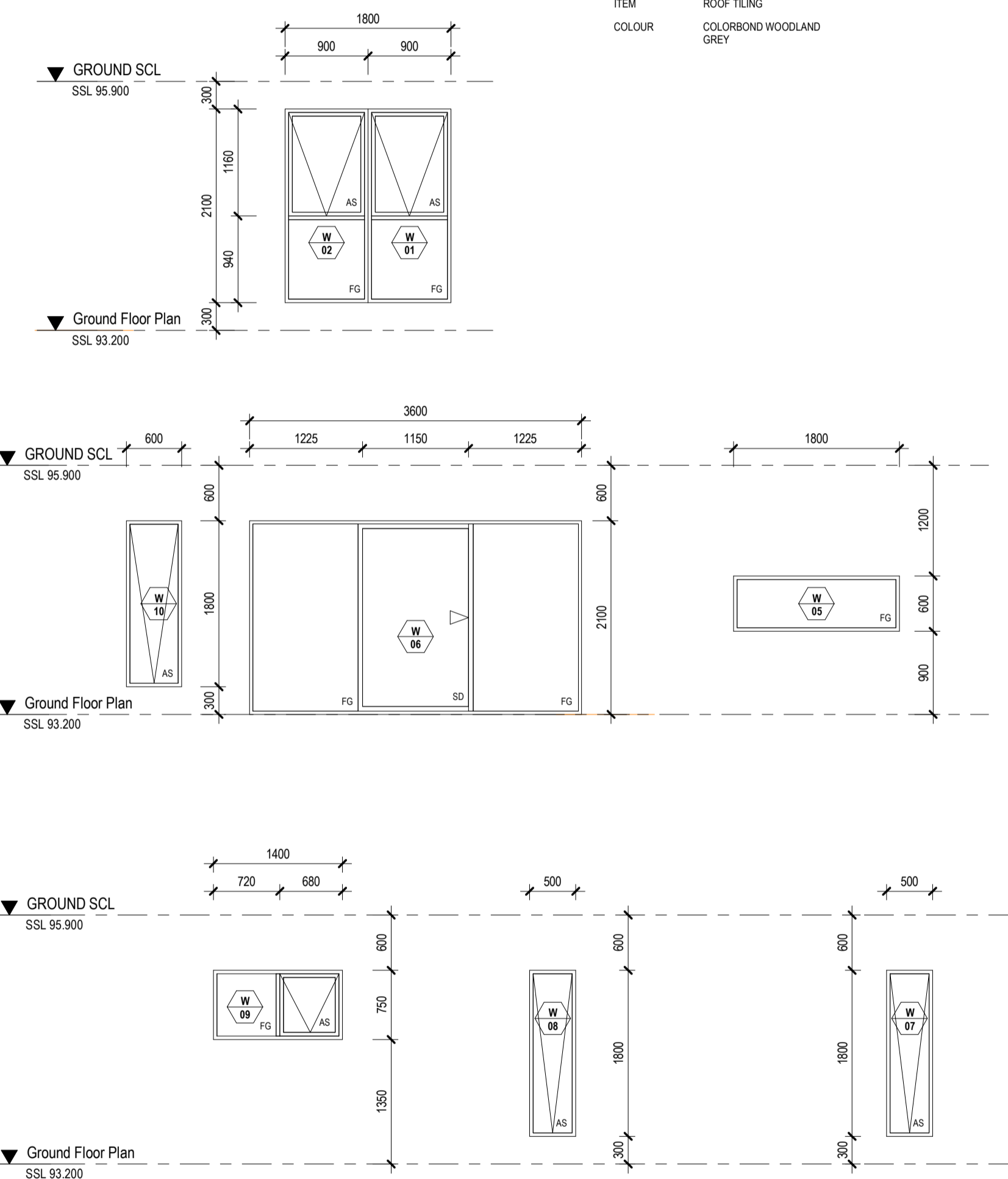
- BAL 01 BALCONY BALUSTRADE GLAZED

SHROUDS

- WS ALUMINIUM SHROUD PROJECTION

FINISHES LEGEND

- LEGEND A RENDERED FINISH
- MATERIAL PRODUCT COLORBOND BASALT
- LEGEND B FACE BRICKWORK
- MATERIAL PRODUCT AUSTRAL BRICKS
- COLOUR INDUSTRIAL IRON
- LEGEND C SELECTED ALUMINIUM FRAMED GLAZING
- MATERIAL FINISH POWDERCOAT
- FRAME COLOUR COLORBOND WOODLAND GREY
- GLAZING CLEAR
- LEGEND D SELECTED SECTIONAL GARAGE DOOR
- MATERIAL FINISH PAINT
- COLOUR COLORBOND SHALE GREY
- LEGEND E GUTTERS/FASCIAS DOWNPIPES
- ITEM FINISH POWDERCOAT
- COLOUR COLORBOND WOODLAND GREY
- LEGEND F
- ITEM TIMBER CLADDING
- FINISH DARK OAK
- COLOUR
- LEGEND I
- ITEM ROOF TILING
- COLOUR COLORBOND WOODLAND GREY

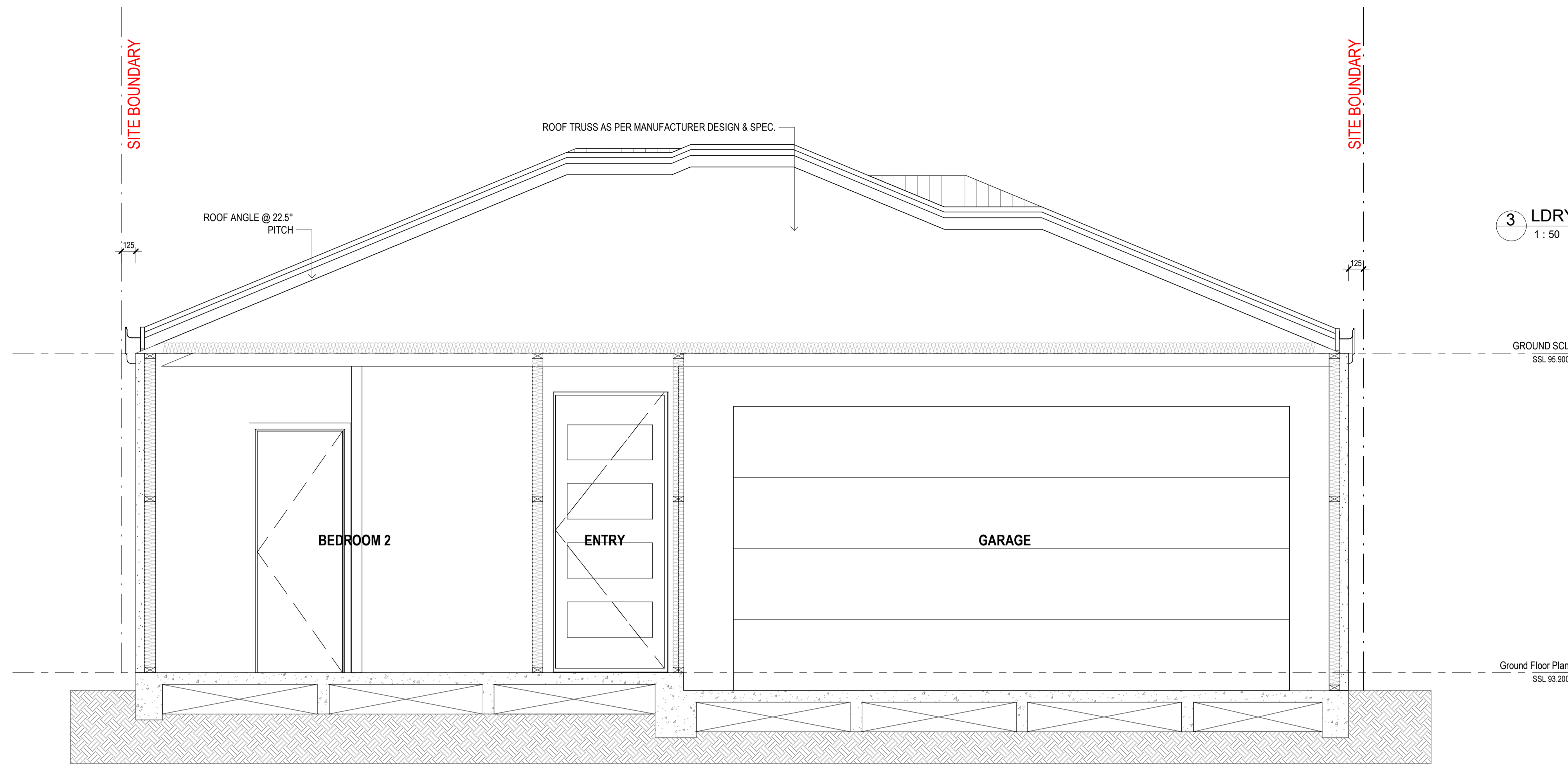


9 FRONT DOOR SCHEDULE
1:50

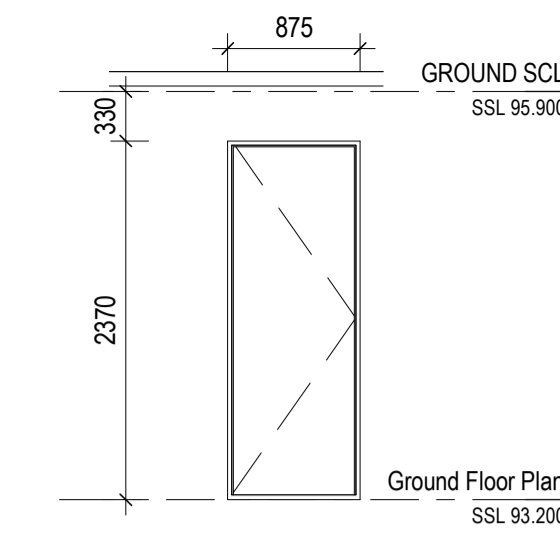
10 FRONT GARAGE DOOR SCHEDULE
1:50

DOOR SCHEDULE											
MARK	TYPE	LOCATION	TYPE	DOOR HEIGHT	DOOR WIDTH	DOOR TYPE	THICKNESS	FRAME FINISH	LEAF FINISH	FRAME TYPE	DOOR HARDWARE
D 01	Garage Door	GARAGE DOOR	SECTIONAL DOOR	2400	4700	METAL		METAL	P.COAT	METAL	REMOTE CONTROL
D 02	TYPE 1F1	ENTRY	HINGED	2336	920	SOLID CORE	35	TIMBER	PAINT	TIMBER	LOCK SET
D 03	Internal Hinged	MASTER BEDROOM	HINGED	2040	820	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 04	Internal Hinged	WIP	HINGED	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 05	Internal Hinged	ENSUITE	HINGED	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	LOCK SET
D 06	Internal Hinged	BEDROOM 2	HINGED	2040	820	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 07	Internal Hinged	PWDR ROOM	HINGED	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	LOCK SET
D 08	Internal Hinged	BATHROOM ENTRY	HINGED	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	LOCK SET
D 09	Cavity Slider	WIP	SLIDING	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	DUMMY SET
D 10	Internal Hinged	LINEN ENTRY	HINGED	2040	720	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 11	Wardrobe Sliding - 3 Panel	BEDROOM 4 ROBE	SLIDING	2040	1400	HOLLOW CORE	30	TIMBER	PAINT	TIMBER	PASSAGE SET
D 12	External Hinged	LDRY EXIT	HINGED	2340	820	SOLID CORE	35	TIMBER	PAINT	TIMBER	LOCK SET
D 13	Wardrobe Sliding - 3 Panel	BEDROOM 3 ROBE	SLIDING	2040	1400	HOLLOW CORE	30	TIMBER	PAINT	TIMBER	PASSAGE SET
D 14	Internal Hinged	BEDROOM 4	HINGED	2040	820	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 15	Internal Hinged	BEDROOM 3	HINGED	2040	820	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 16	Cavity Slider	GARAGE ENTRY	SLIDING	2040	820	HOLLOW CORE	35	TIMBER	PAINT	TIMBER	PASSAGE SET
D 17	Wardrobe Sliding - 3 Panel	BEDROOM 2 ROBE	SLIDING	2040	1400	HOLLOW CORE	30	TIMBER	PAINT	TIMBER	PASSAGE SET
D 18	Internal Hinged	GARAGE EXIT	HINGED	2040	620	SOLID CORE	35	TIMBER	PAINT	TIMBER	LOCK SET

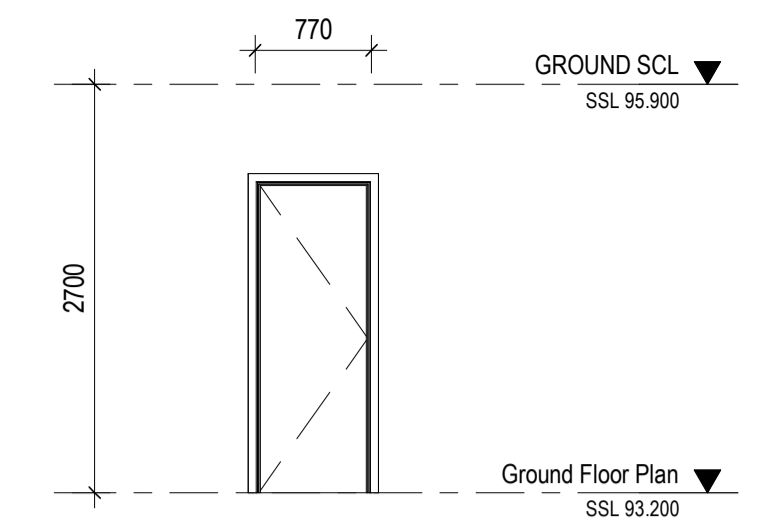
Total: 18



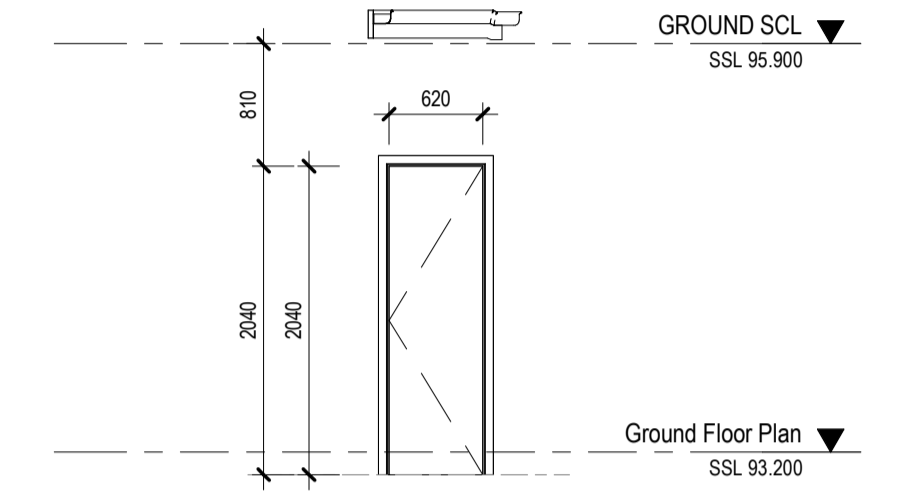
1 SECTION
A.200 1:25



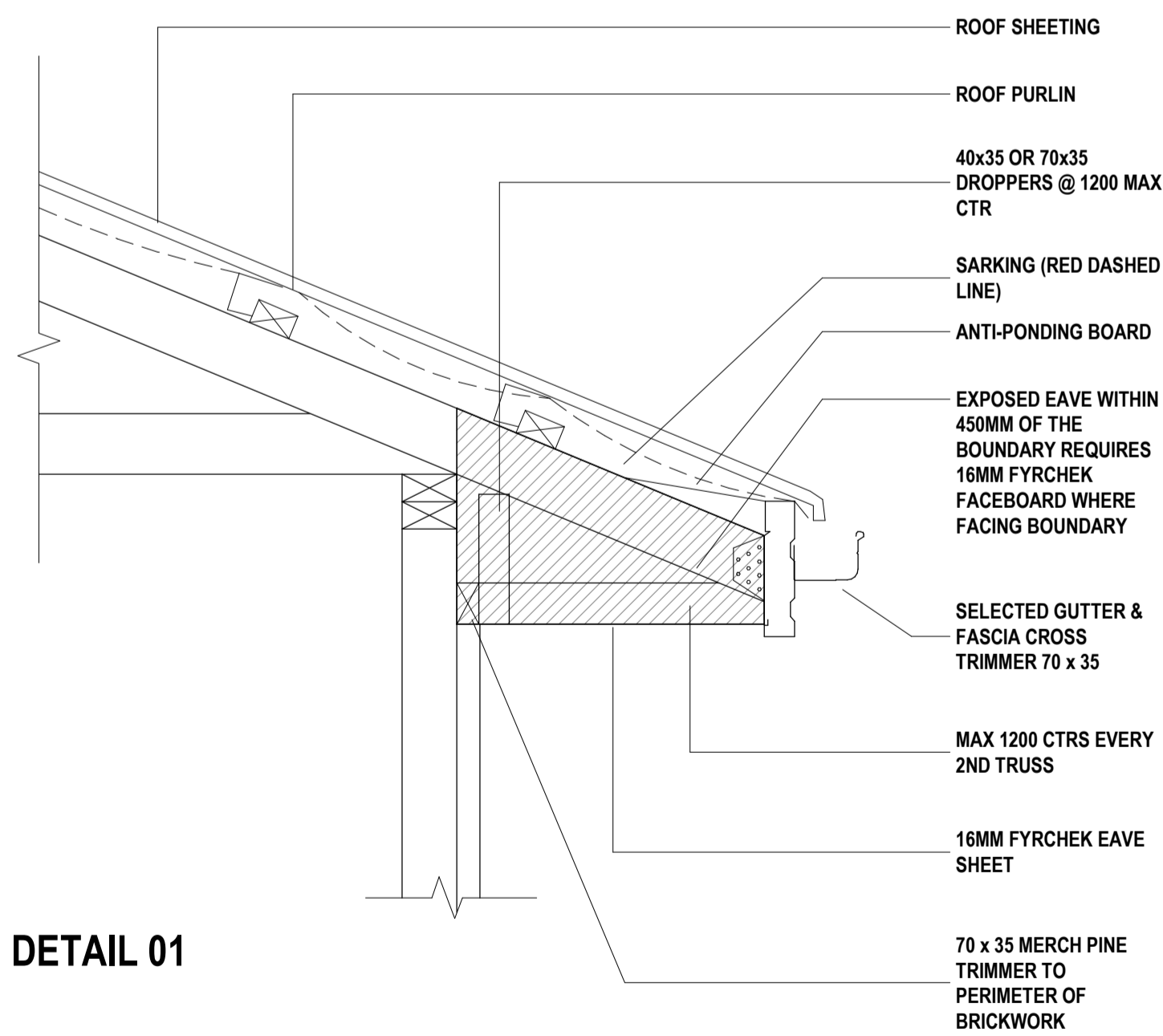
3 LDRY DOOR SCHEDULE
1:50



2 SLIDING DOOR SCHEDULE
1:50

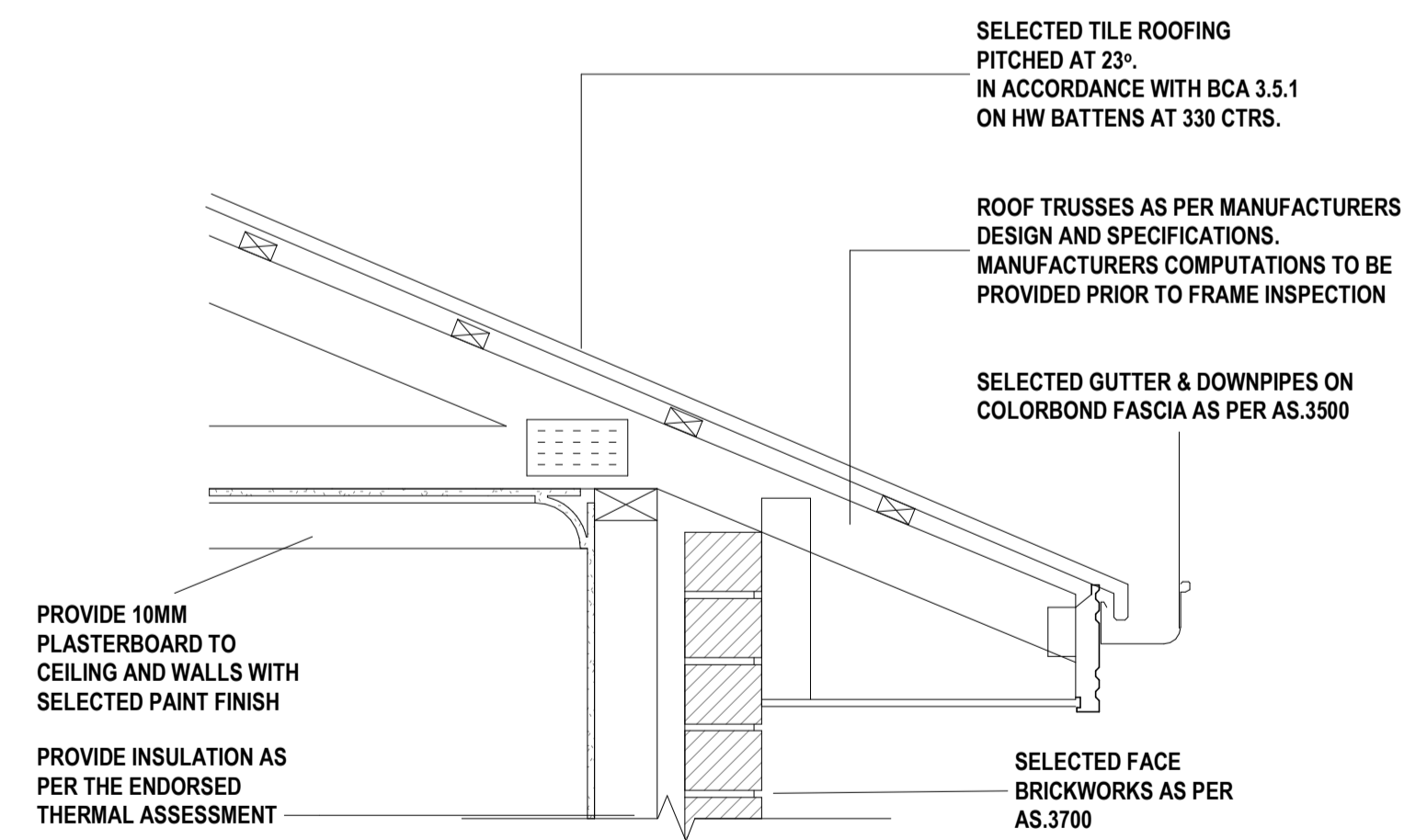


4 DOOR 18 SCHEDULE
A.100 1:50



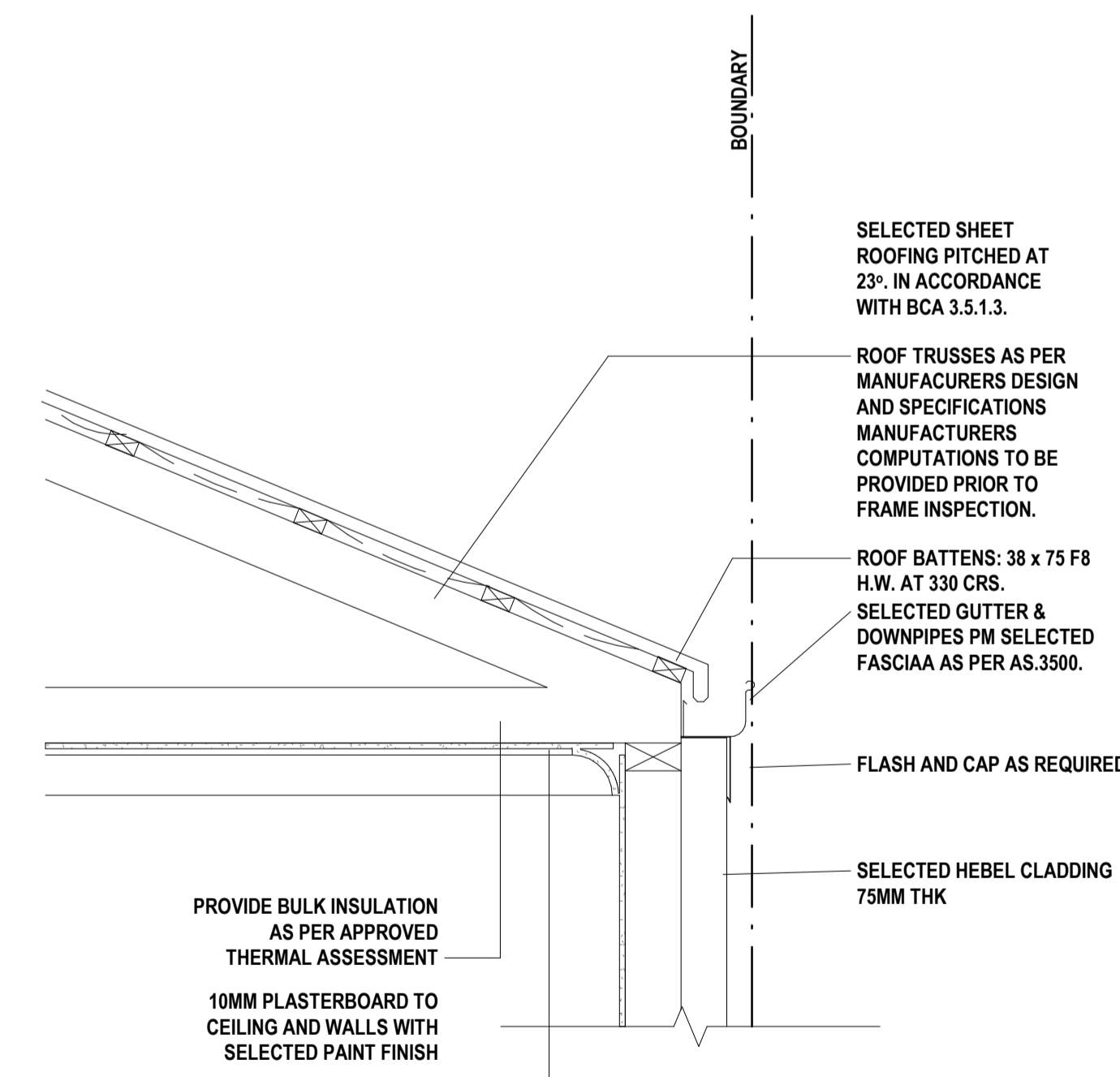
DETAIL 01

TYPICAL FRL 60/60/60 EAVE DETAIL
(APPLICABLE TO EAVES WITHIN 900MM OF TITLE BOUNDARY)
SCALE 1:20



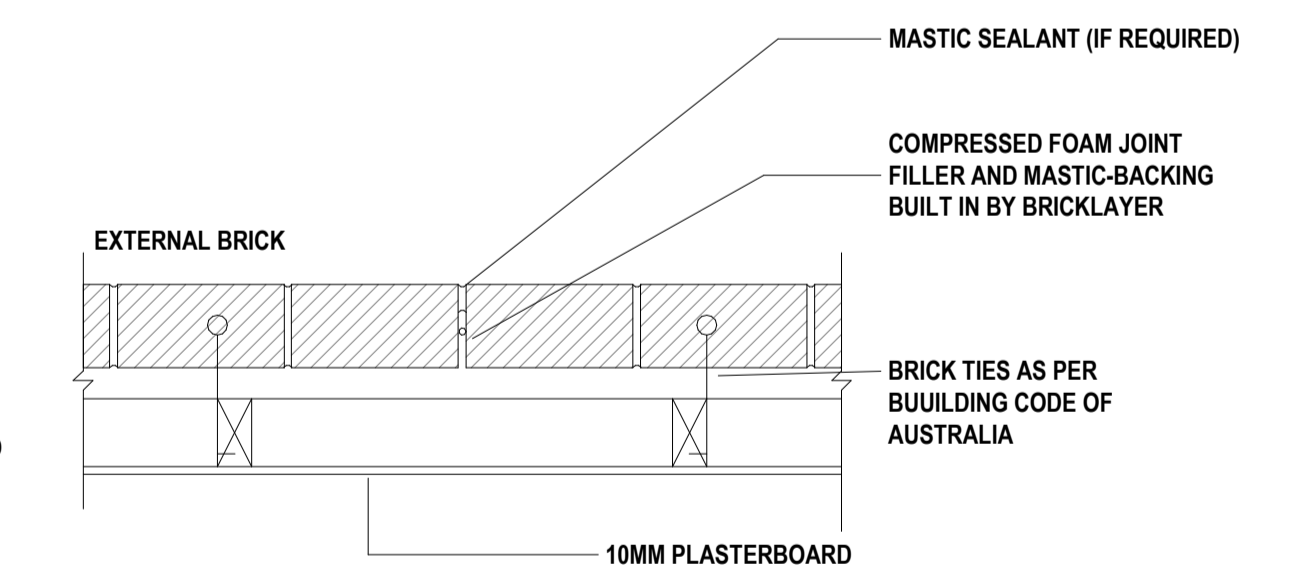
DETAIL 02

TYPICAL EAVE DETAIL
SCALE 1:20



DETAIL 03

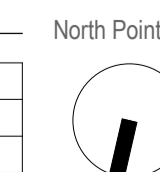
TYPICAL ZERO BOUNDARY GUTTER DETAIL
SCALE 1:20



DETAIL 04

TYPICAL MASONRY ARTICULATION JOINT DETAIL
SCALE 1:20

Rev	Description	Date
A	Issue for DA	08/08/2022
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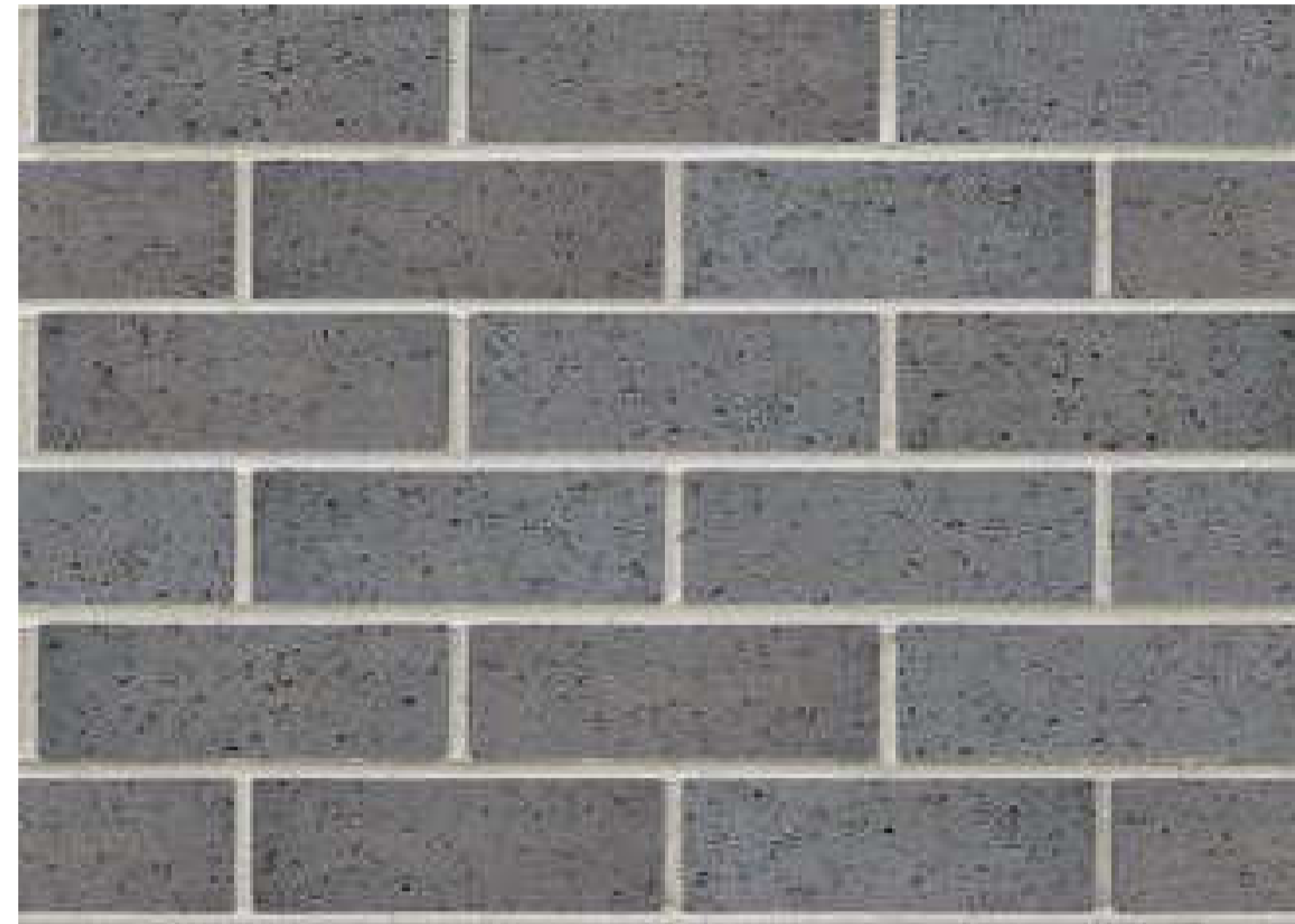


FINISHES SCHEDULE

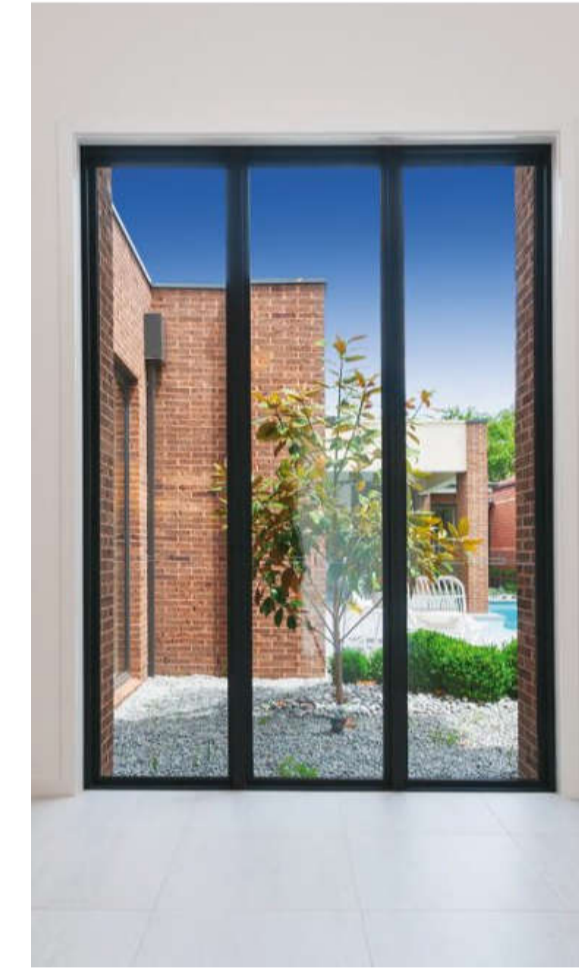


COLOUR

LEGEND A
MATERIAL RENDERED FINISH
PRODUCT -
COLOUR COLORBOND "BASALT"



LEGEND B
MATERIAL FACE BRICKWORK
PRODUCT AUSTRAL BRICKS
COLOUR INDUSTRIAL IRON



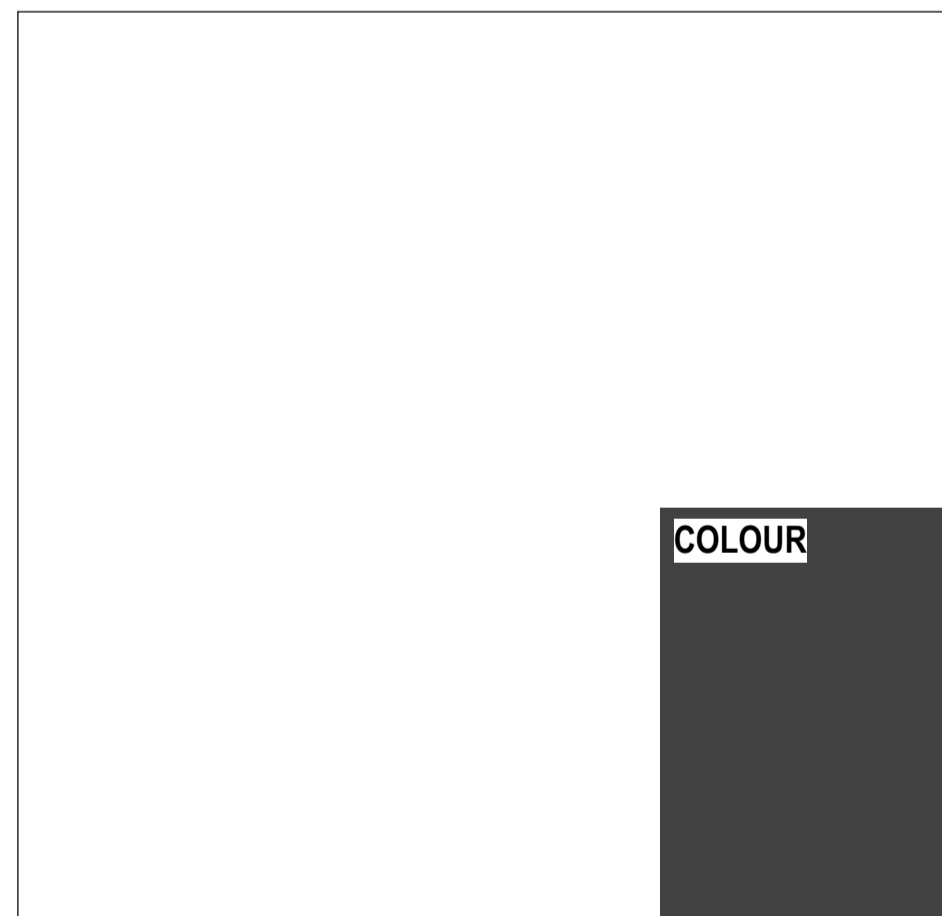
COLOUR

LEGEND C
MATERIAL SELECTED ALUMINIUM FRAMED GLAZING
PRODUCT -
FRAME COLOUR COLORBOND WOODLAND GREY
FRAME FINISH POWDERCOAT
GLASS FINISH CLEAR



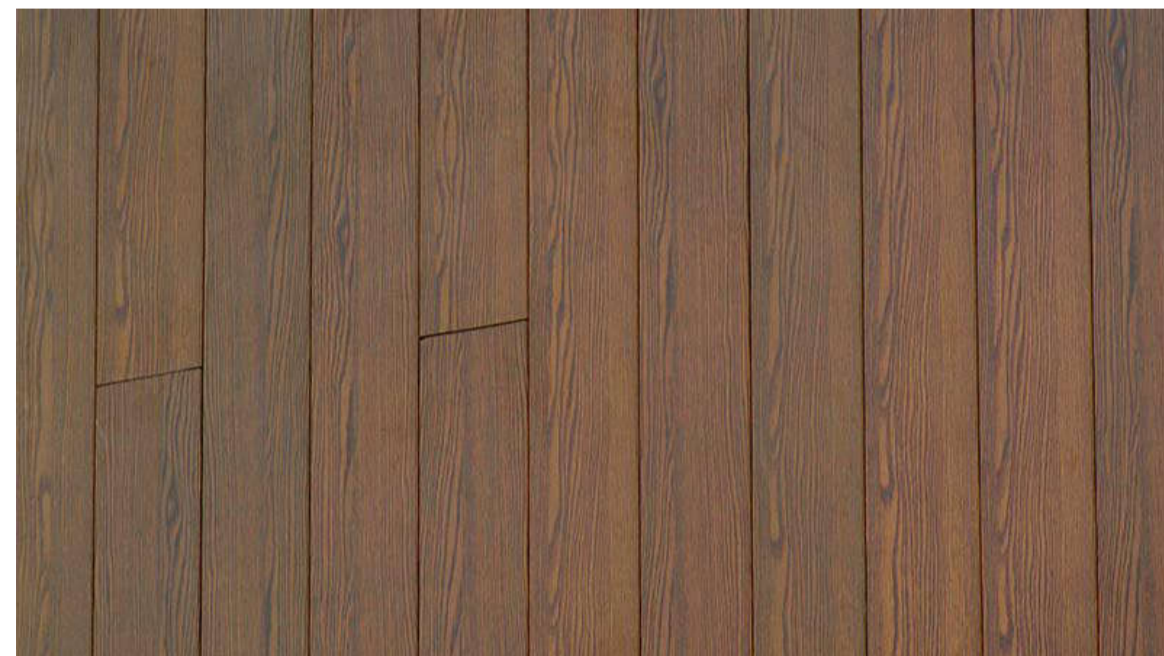
COLOUR

LEGEND D
MATERIAL SELECTED GARAGE DOOR
PRODUCT -
FRAME COLOUR COLORBOND SHALE GREY
FRAME FINISH POWDERCOAT

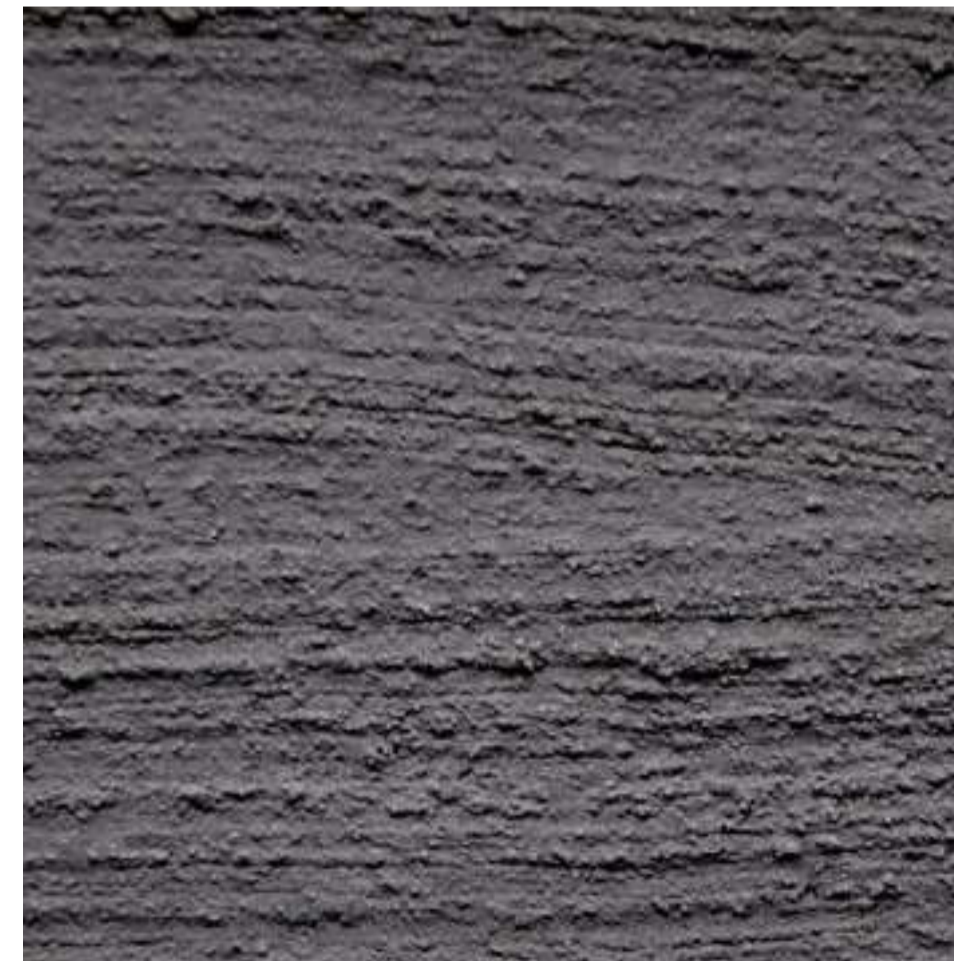


COLOUR

LEGEND E
MATERIAL POWDERCOAT METAL
PRODUCT GUTTERS/FASCIA/DOWNPipes
COLOUR COLORBOND WOODLAND GREY



LEGEND F
MATERIAL SELECTED FRONT FACADE
PRODUCT TIMBER CLADDING
COLOUR DARK OAK
FINISH -



LEGEND G
MATERIAL SELECTED CONCRETE DRIVEWAY
PRODUCT COLOURED CONCRETE
COLOUR MOONLIGHT
FINISH -



COLOUR

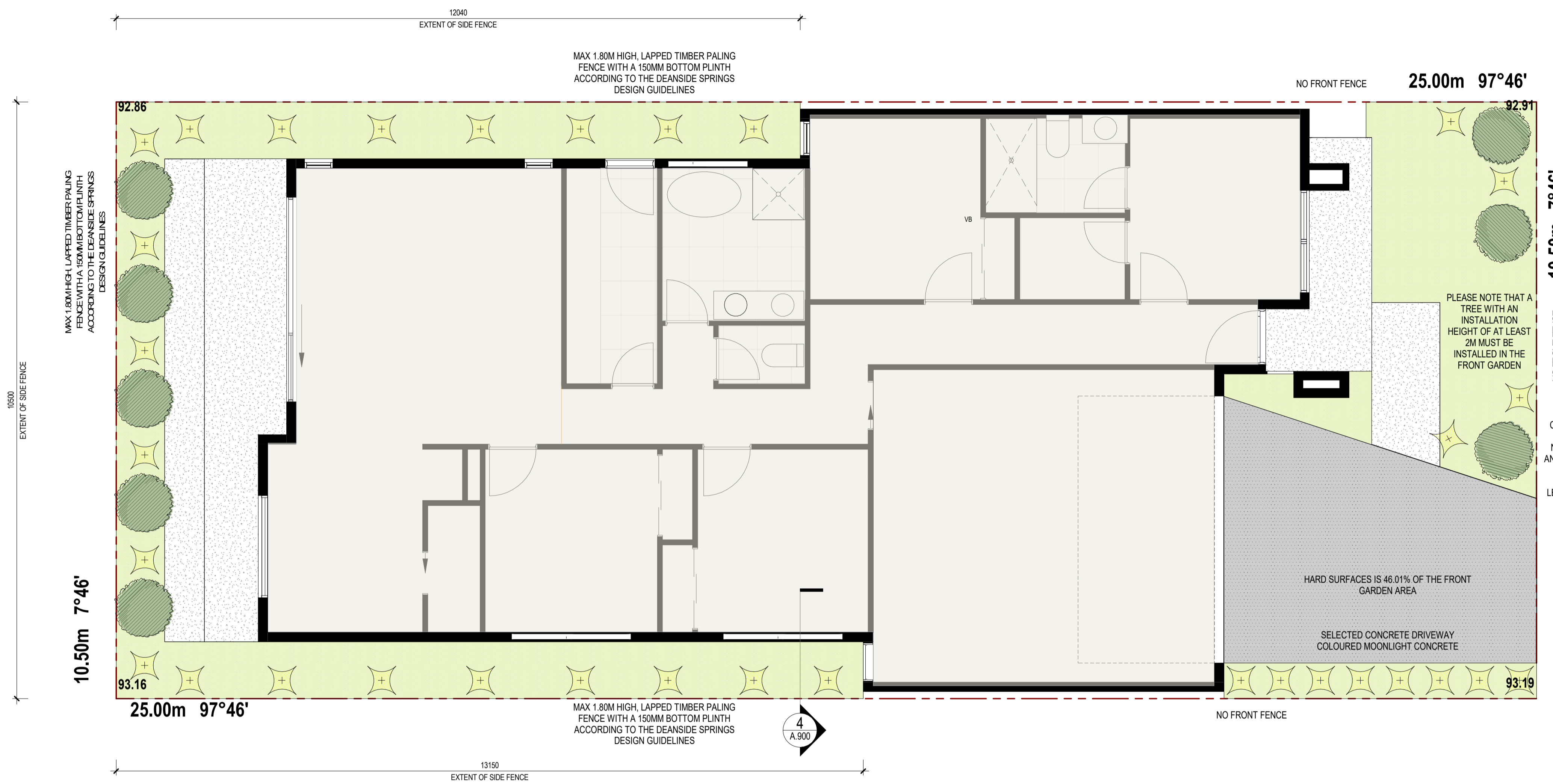
LEGEND H
MATERIAL SELECTED FRONT DOOR
PRODUCT TIMBER DOOR WITH SIDE LIGHT
COLOUR COLORBOND MONUMENT
FINISH -



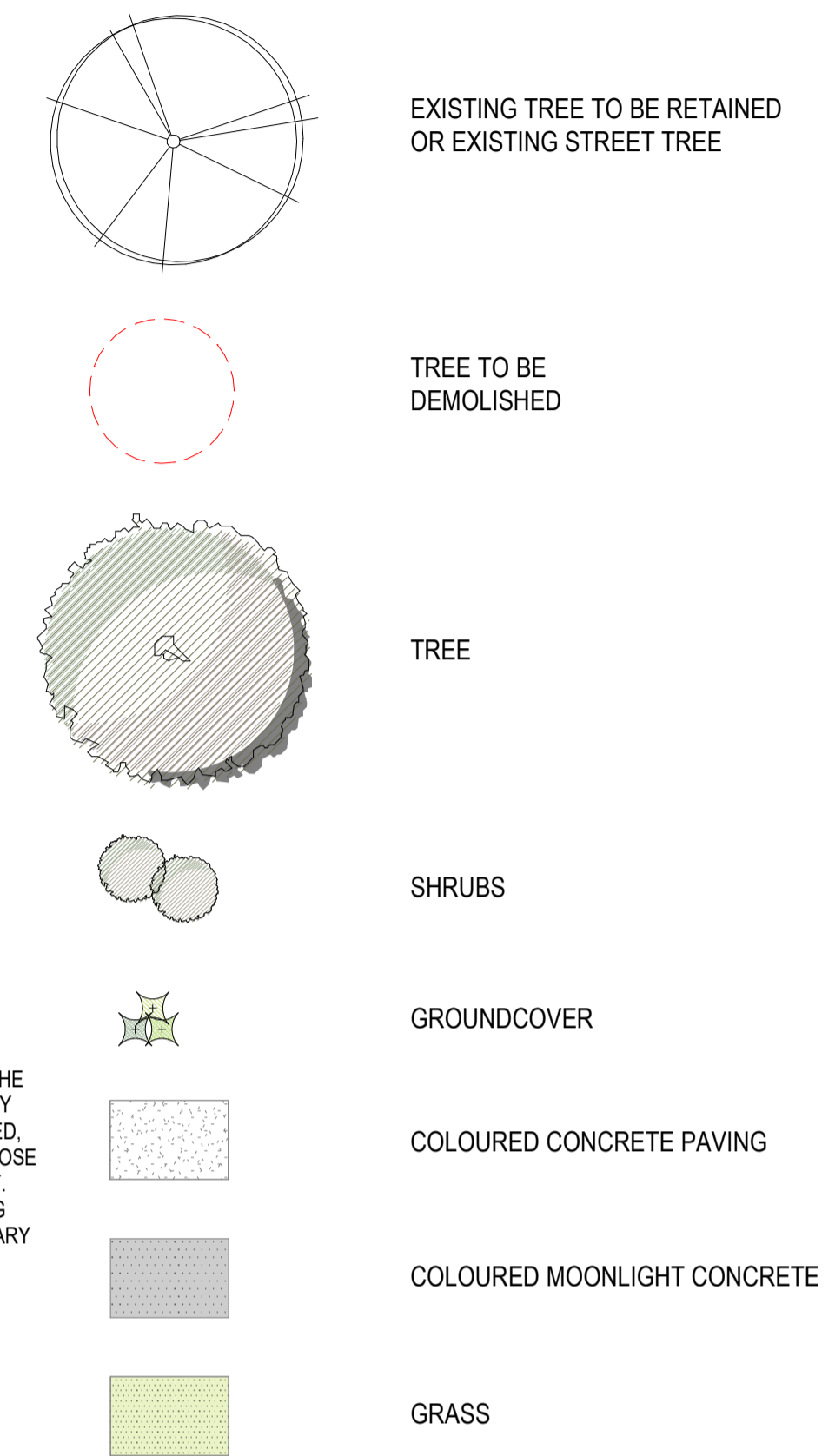
COLOUR

LEGEND I
MATERIAL SELECTED TILE ROOF
PRODUCT -
COLOUR COLORBOND "WOODLAND GREY"
FINISH -

Rev	Description	Date
A	Issue for DA	08/08/2022
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LANDSCAPING LEGEND



THE LETTERBOX MUST COMPLEMENT AND MATCH THE DWELLING, WITH PROPERTY NUMBER CLEARLY DISPLAYED, AND MUST BE POSITIONED CLOSE TO THE FRONT BOUNDARY. SINGLE POST SUPPORTING LETTERBOXES AND TEMPORARY LETTERBOXES ARE NOT PERMITTED

HARD SURFACES IS 46.01% OF THE FRONT GARDEN AREA
SELECTED CONCRETE DRIVEWAY
COLOURED MOONLIGHT CONCRETE

LANDSCAPE PLAN

1:50

- GARDEN BED**
 - 75MM ORGANIC PINE BARK MULCH
 - 400MM APPROVED MEDIUM LOAM SOIL
 - MIN 150MM DEEP ROTARY HOED SUBGRADE
- TOPPINGS / PEBBLE AREAS**
 - 40MM COMPACTED SELECTED TOPPINGS / 40MM RIVER PEBBLES
 - 75MM COMPACTED FCR BASE
 - SUBGRADE
- LAWN AREAS**
 - STRATHAYAR WALTER SOFT LEAF BUFFALO OR SIMILAR INSTANT LAWN
 - 100MM APPROVED SANDY LOAM SOIL
 - MIN 150MM DEEP ROTARY HOED SUBGRADE

PLANTING SCHEDULE					
ABBREV.	BOTANICAL NAME	COMMON NAME	H x W	SUPPLY SIZE	COUNT
SHRUB					
WL	WESTRINGIA LONGIFOLIA	LONG LEAVED WESTRINGIA	3m x 2m	20CM POT	8
GROUND COVER					
DCB	DIANELLA CAERULA "BREEZE"	BREEZE FLAX LILLY	0.7m x 0.65m	14CM POT	33

PEBBLES ARE ONLY BE USED IN SMALL QUANTITIES AND MUST COMPLEMENT THE HOUSE DESIGN

MINIMUM 2M HEIGHT TO BUSHES AND SHRUBS TO SECONDARY BOUNDARY, AND CONTINUE 4M BEYOND FRONTAGE

NOTE THAT THE AMOUNT OF HARD PAVING USED IN THE FRONT GARDEN, INCLUDING THE DRIVEWAY, MUST NOT COVER MORE THAN 40% OF THE FRONT GARDEN AREA

LANDSCAPE NOTES

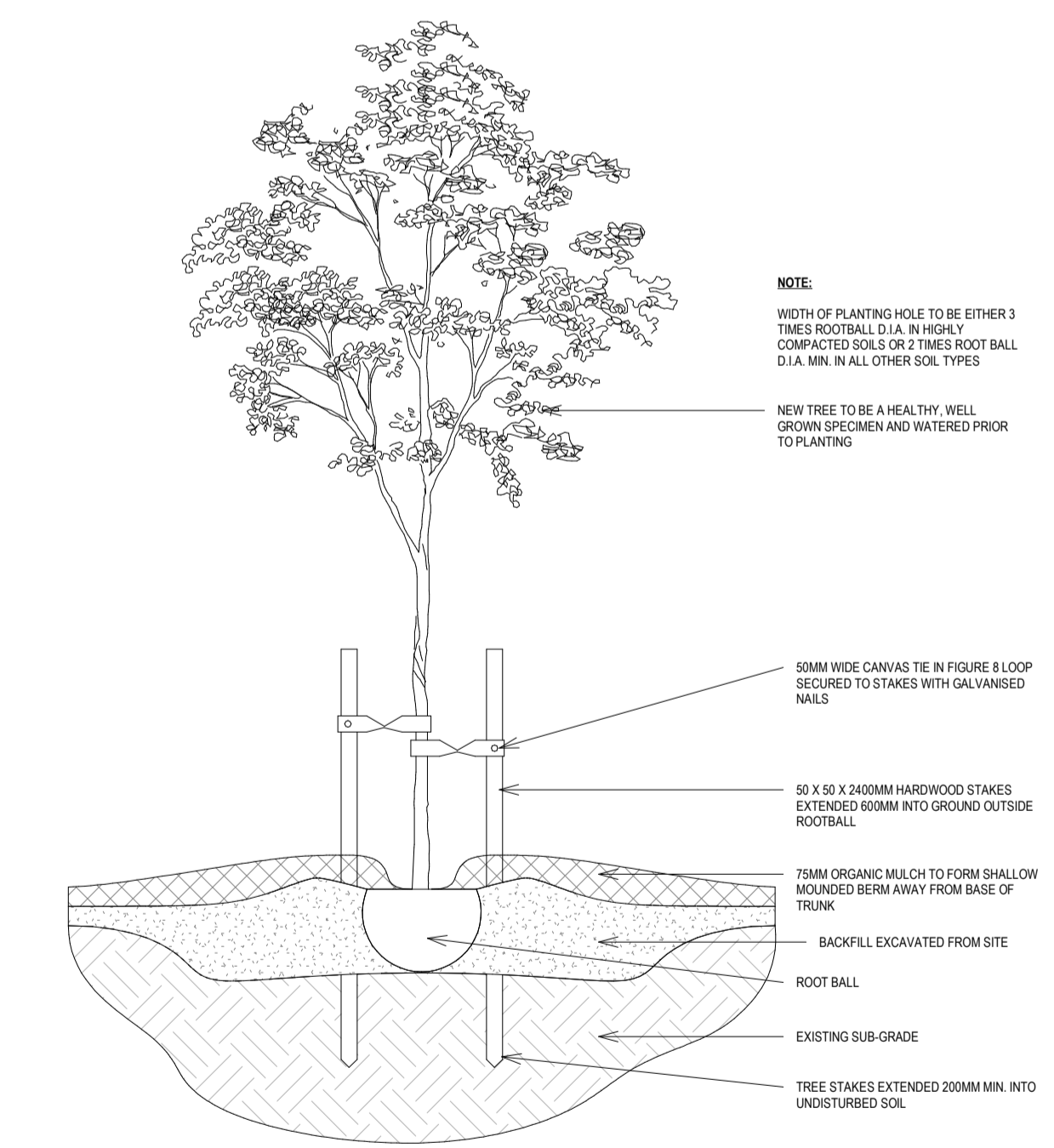
PLEASE NOTE THAT A TREE WITH AN INSTALLATION HEIGHT OF AT LEAST 2M MUST BE INSTALLED IN THE FRONT GARDEN

PLEASE NOTE THAT AT LEAST 5 MEDIUM TO LARGE SHRUBS OF MIN 200MM POT AND AT LEAST 20 SMALL SHRUBS OF A MIN 150MM POT MUST BE INSTALLED IN THE FRONT GARDEN

BRIGHTLY COLOURED OR COARSELY TEXTURED WOOD MULCHES AND BRIGHTLY COLOURED PEBBLES ARE NOT PERMITTED

ALL GARDEN BED AREAS WITHIN THE FRONT YARD MUST BE EDGED USING TIMBER, MASONRY OR STEEL EDGING MATERIALS

ARTIFICIAL TURF, GRAVEL, STONE TOPPINGS AND THE LIKE ARE NOT PERMITTED IN THE NATURE STRIP



LANDSCAPE DETAILS

1:20