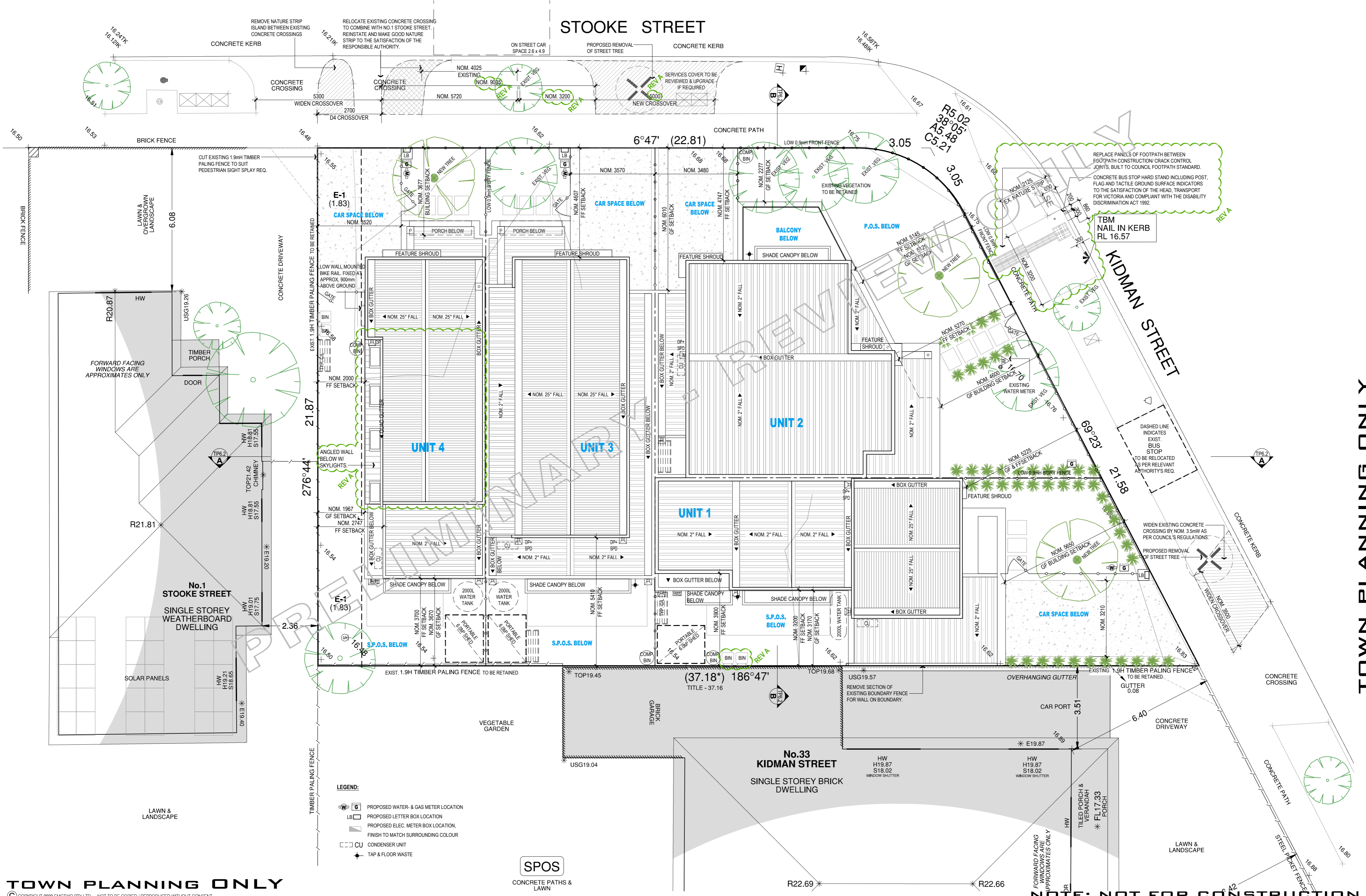


STOOKE STREET



- LEGEND:**
- PROPOSED WATER & GAS METER LOCATION
 - PROPOSED LETTER BOX LOCATION
 - PROPOSED ELEC. METER BOX LOCATION
 - FINISH TO MATCH SURROUNDING COLOUR
 - CONDENSER UNIT
 - TAP & FLOOR WASTE

SPOS
CONCRETE PATHS & LAWN

TOWN PLANNING ONLY

NOTE: NOT FOR CONSTRUCTION

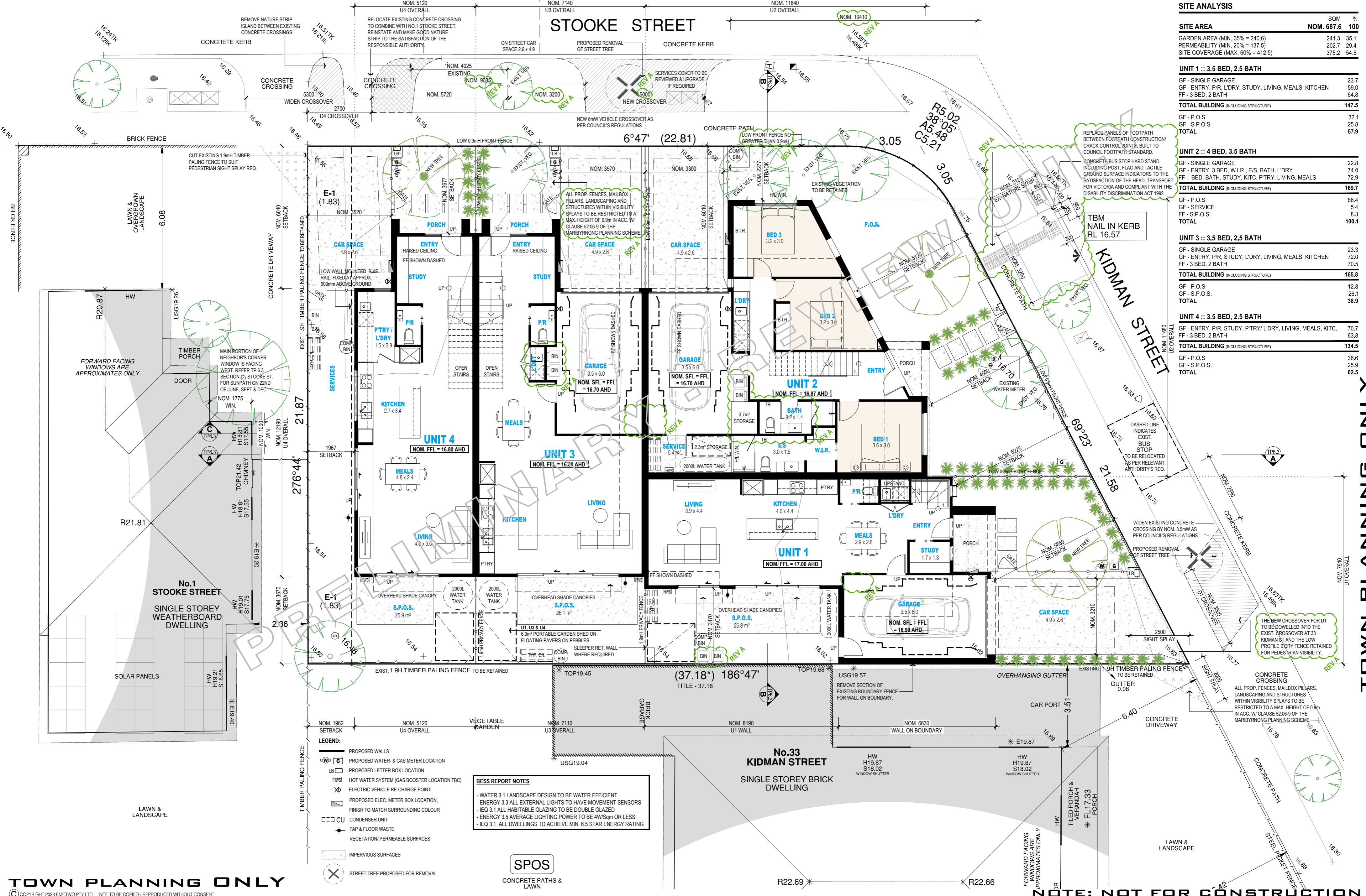
| REVISIONS: | DATE: | NOTE: |
|---|------------|---|
| ISSUE FOR TOWN PLANNING | 27-05-2022 | BUILDER / CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ARCHITECT / DESIGNER TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION. |
| UPDATE AS PER COUNCIL'S RFI LETTER DATED 23 JUNE 2022 | 10-08-2022 | |
| REVISED TO INCLUDE CONDITIONS AS PER COUNCIL'S LETTER DATED XX MARCH 2023 | XX-03-2023 | |

(4) UNIT DEVELOPMENT
35 KIDMAN STREET
YARRAVILLE VIC 3013

| PROPOSED - SITE & ROOF PLAN | | | | |
|-----------------------------|-------------------|---------------|--------------|---------------|
| CHECKED BY: | S.E. | DRAWN BY: | Y.T. | PROJECT NO.: |
| CAD REF: | SCALE: 1:100 @ A2 | DERIVED FROM: | DRAWING NO.: | REVISION NO.: |
| DATE: | APRIL 2022 | DRAWING NO.: | TP 3.0 | |

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SUITE 301 - 838 COLLINS ST - DOCKLANDS - VICTORIA
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TOWN PLANNING ONLY



SITE ANALYSIS

| SITE AREA | SQM | % |
|----------------------------------|-------|------|
| GARDEN AREA (MIN. 35% = 240.6) | 241.3 | 35.1 |
| PERMEABILITY (MIN. 20% = 137.5) | 202.7 | 29.4 |
| SITE COVERAGE (MAX. 60% = 412.5) | 375.2 | 54.5 |

| UNIT 1 :: 3.5 BED, 2.5 BATH | |
|---|--------------|
| GF - SINGLE GARAGE | 23.7 |
| GF - ENTRY, P/R, L'DRY, STUDY, LIVING, MEALS, KITCHEN | 59.0 |
| FF - 3 BED, 2 BATH | 64.8 |
| TOTAL BUILDING (INCLUDING STRUCTURE) | 147.5 |
| GF - P.O.S. | 32.1 |
| GF - S.P.O.S. | 25.8 |
| TOTAL | 57.9 |

| UNIT 2 :: 4 BED, 3.5 BATH | |
|--|--------------|
| GF - SINGLE GARAGE | 22.8 |
| GF - ENTRY, 3 BED, W.I.R., E/S, BATH, L'DRY | 74.0 |
| FF - BED, BATH, STUDY, KITC, PTRY, LIVING, MEALS | 72.9 |
| TOTAL BUILDING (INCLUDING STRUCTURE) | 169.7 |
| GF - P.O.S. | 86.4 |
| GF - SERVICE | 5.4 |
| FF - S.P.O.S. | 8.3 |
| TOTAL | 100.1 |

| UNIT 3 :: 3.5 BED, 2.5 BATH | |
|---|--------------|
| GF - SINGLE GARAGE | 23.3 |
| GF - ENTRY, P/R, STUDY, L'DRY, LIVING, MEALS, KITCHEN | 72.0 |
| FF - 3 BED, 2 BATH | 70.5 |
| TOTAL BUILDING (INCLUDING STRUCTURE) | 165.8 |
| GF - P.O.S. | 12.8 |
| GF - S.P.O.S. | 26.1 |
| TOTAL | 38.9 |

| UNIT 4 :: 3.5 BED, 2.5 BATH | |
|--|--------------|
| GF - ENTRY, P/R, STUDY, PTRY/L'DRY, LIVING, MEALS, KITC. | 70.7 |
| FF - 3 BED, 2 BATH | 63.8 |
| TOTAL BUILDING (INCLUDING STRUCTURE) | 134.5 |
| GF - P.O.S. | 36.6 |
| GF - S.P.O.S. | 25.9 |
| TOTAL | 62.5 |

BESS REPORT NOTES

- WATER 3.1 LANDSCAPE DESIGN TO BE WATER EFFICIENT
- ENERGY 3.3 ALL EXTERNAL LIGHTS TO HAVE MOVEMENT SENSORS
- IEQ 3.1 ALL HABITABLE GLAZING TO BE DOUBLE GLAZED
- ENERGY 3.5 AVERAGE LIGHTING POWER TO BE 4W/Sqm OR LESS
- IEQ 3.1 ALL DWELLINGS TO ACHIEVE MIN. 6.5 STAR ENERGY RATING

- LEGEND:**
- PROPOSED WALLS
 - PROPOSED WATER & GAS METER LOCATION
 - PROPOSED LETTER BOX LOCATION
 - HOT WATER SYSTEM (GAS BOOSTER LOCATION TBC)
 - ELECTRIC VEHICLE RE-CHARGE POINT
 - PROPOSED ELEC. METER BOX LOCATION, FINISH TO MATCH SURROUNDING COLOUR
 - CONDENSER UNIT
 - TAP & FLOOR WASTE
 - VEGETATION/PERMEABLE SURFACES
 - IMPERVIOUS SURFACES
 - STREET TREE PROPOSED FOR REMOVAL

SPOS
CONCRETE PATHS & LAWN

TOWN PLANNING ONLY

NOTE: NOT FOR CONSTRUCTION

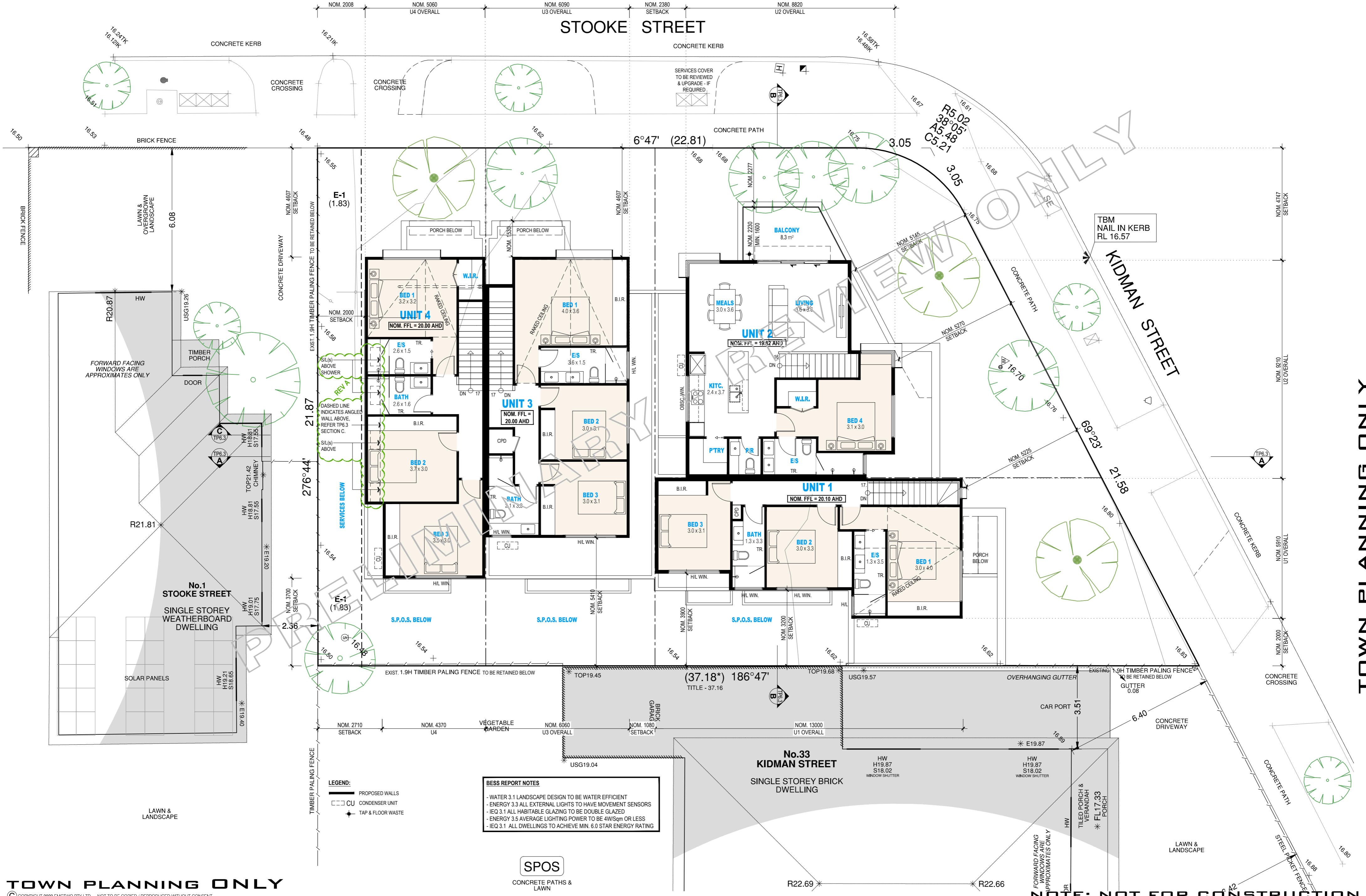
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| REVISIONS: | DATE: | NOTE: |
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(4) UNIT DEVELOPMENT
35 KIDMAN STREET
YARRAVILLE VIC 3013

PROPOSED - GROUND FLOOR PLAN

| CHECKED BY: | S.E. | DRAWN BY: | Y.T. | PROJECT NO.: | REVISION NO.: |
|-------------|--------|-----------|------------|---------------------------|---------------|
| CAD REF.: | SCALE: | DATE: | APRIL 2022 | DERIVED FROM DRAWING No.: | TP 4.0 |



- LEGEND:**
- PROPOSED WALLS
 - CU CONDENSER UNIT
 - ⬇ TAP & FLOOR WASTE

BESS REPORT NOTES

- WATER 3.1 LANDSCAPE DESIGN TO BE WATER EFFICIENT
- ENERGY 3.3 ALL EXTERNAL LIGHTS TO HAVE MOVEMENT SENSORS
- IEQ 3.1 ALL HABITABLE GLAZING TO BE DOUBLE GLAZED
- ENERGY 3.5 AVERAGE LIGHTING POWER TO BE 4W/Sqm OR LESS
- IEQ 3.1 ALL DWELLINGS TO ACHIEVE MIN. 6.0 STAR ENERGY RATING

SPOS
CONCRETE PATHS & LAWN

TOWN PLANNING ONLY

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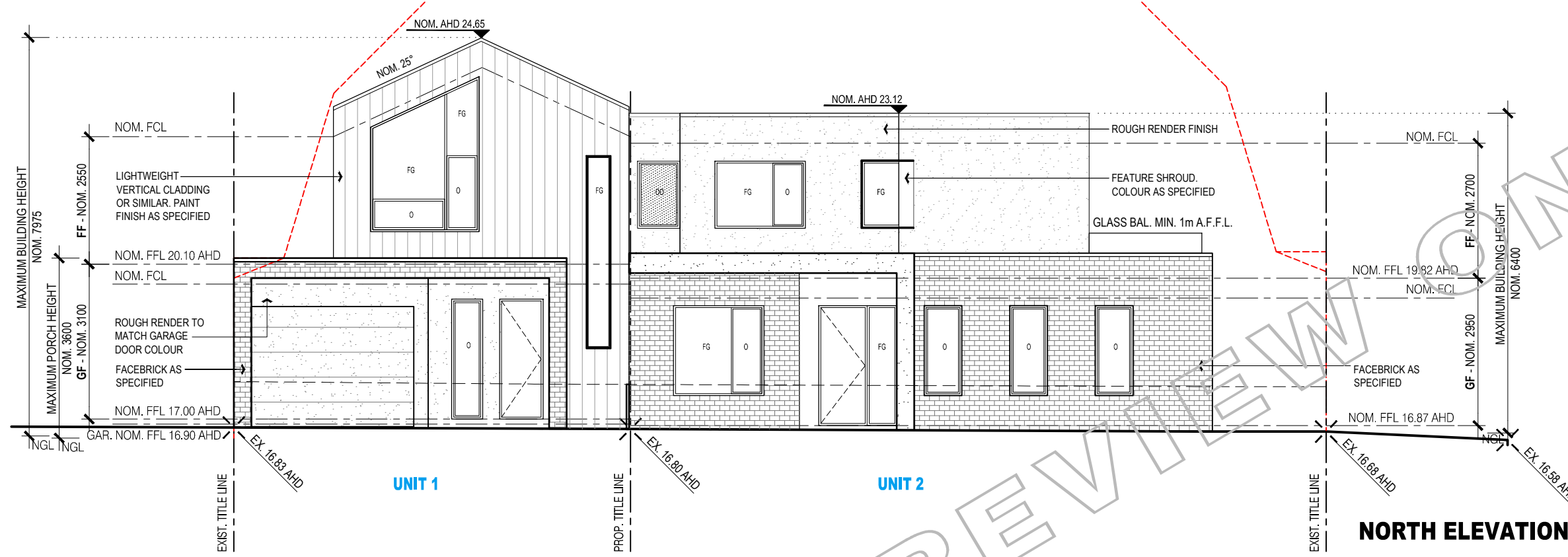
| REVISIONS | DATE | NOTE |
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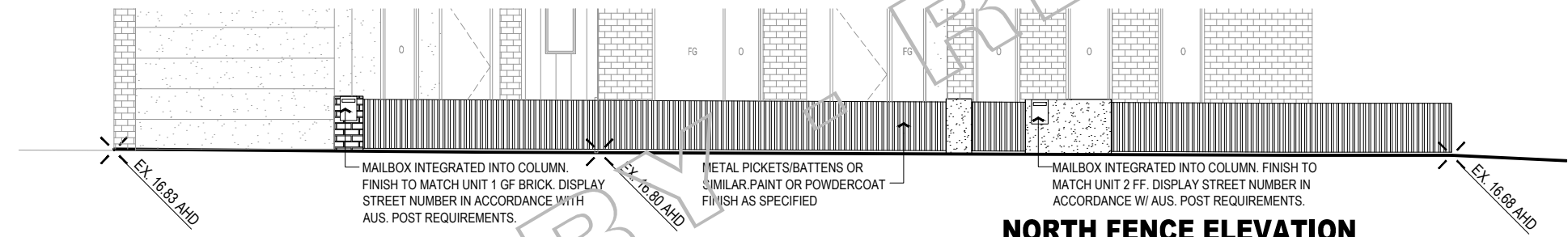
| PROPOSED - FIRST FLOOR PLAN | | | |
|-----------------------------|-------------------|---------------------------|--------------------|
| CHECKED BY: S.E. | DRAWN BY: Y.T. | PROJECT NO.: | REVISION NO. A |
| CAD REF: | SCALE: 1:100 @ A2 | DERIVED FROM DRAWING NO.: | DRAWING NO. TP 5.0 |
| DATE: APRIL 2022 | | | |

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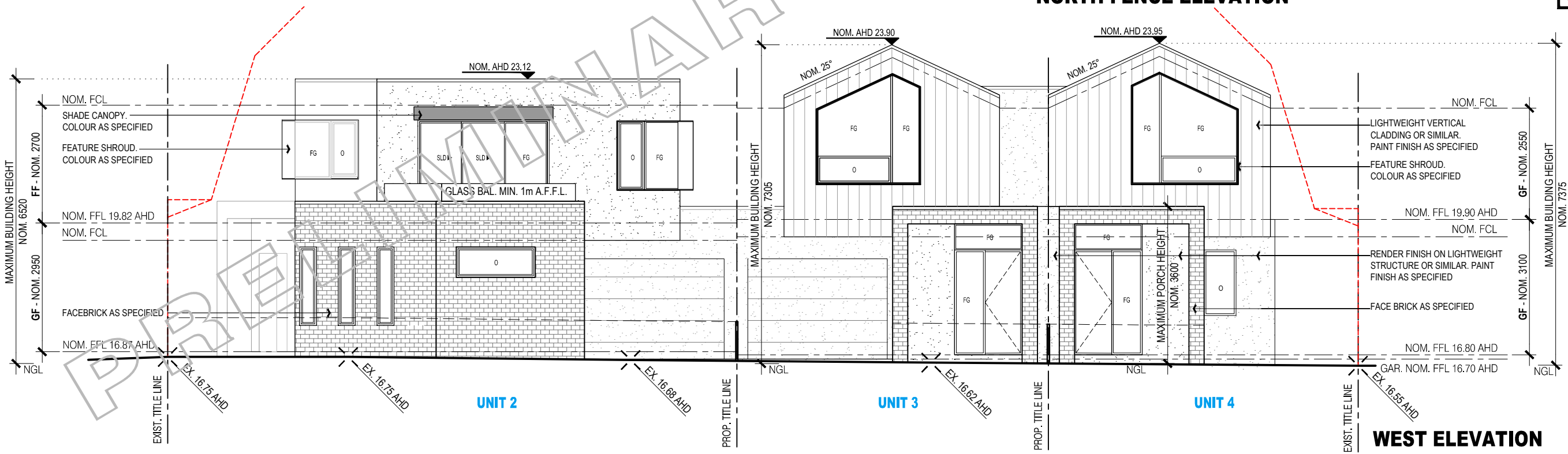


NORTH ELEVATION



NORTH FENCE ELEVATION

- LEGEND**
- O. OPENABLE PANEL
 - SLD SLIDING PANEL (VERT. OR HORIZ.)
 - FG FIXED GLAZING
 - O.FG OBSCURE FIXED GLAZING
 - O.O OBSCURE OPENABLE PANEL
- NOTE**
- FOR ALL EXTERNAL MATERIALS AND FINISHES REFER DRAWING TP8.0

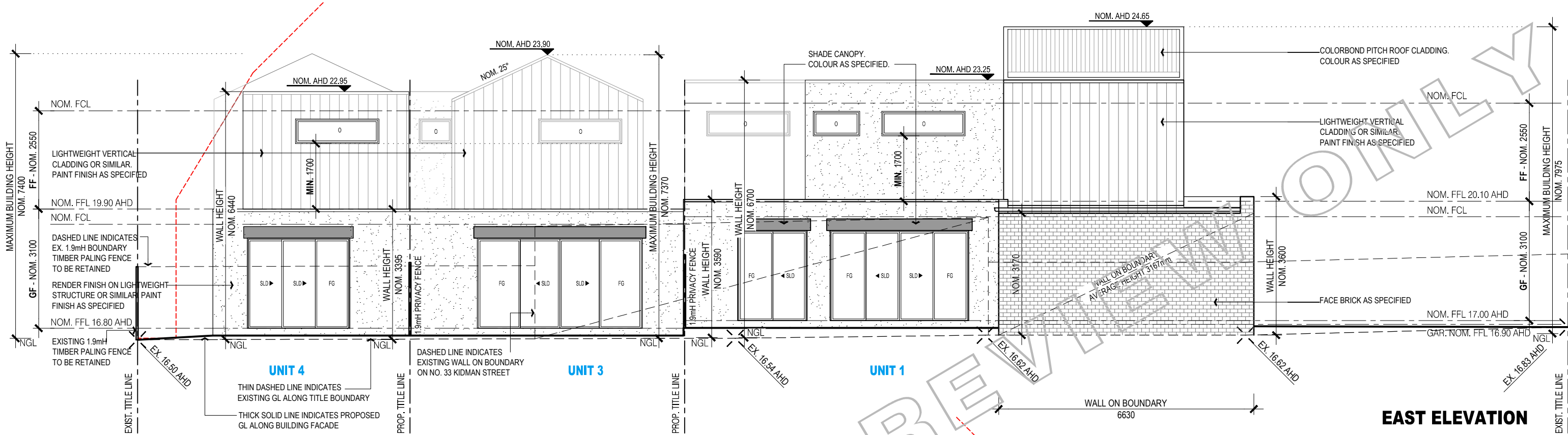


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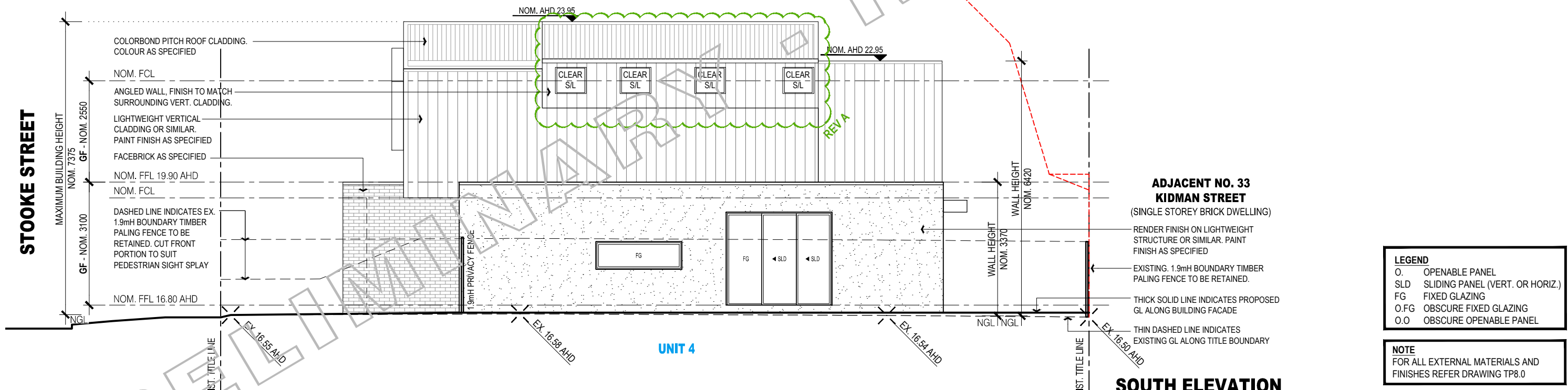
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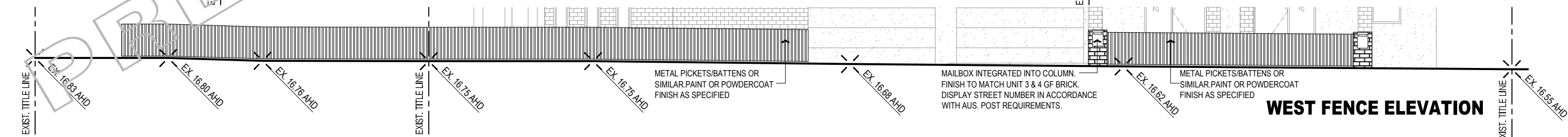
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| | | DATE: | APRIL 2022 | | TP 6.0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



EAST ELEVATION



SOUTH ELEVATION



WEST FENCE ELEVATION


LEGEND

- O OPENABLE PANEL
- SLD SLIDING PANEL (VERT. OR HORIZ.)
- FG FIXED GLAZING
- O.FG OBSCURE FIXED GLAZING
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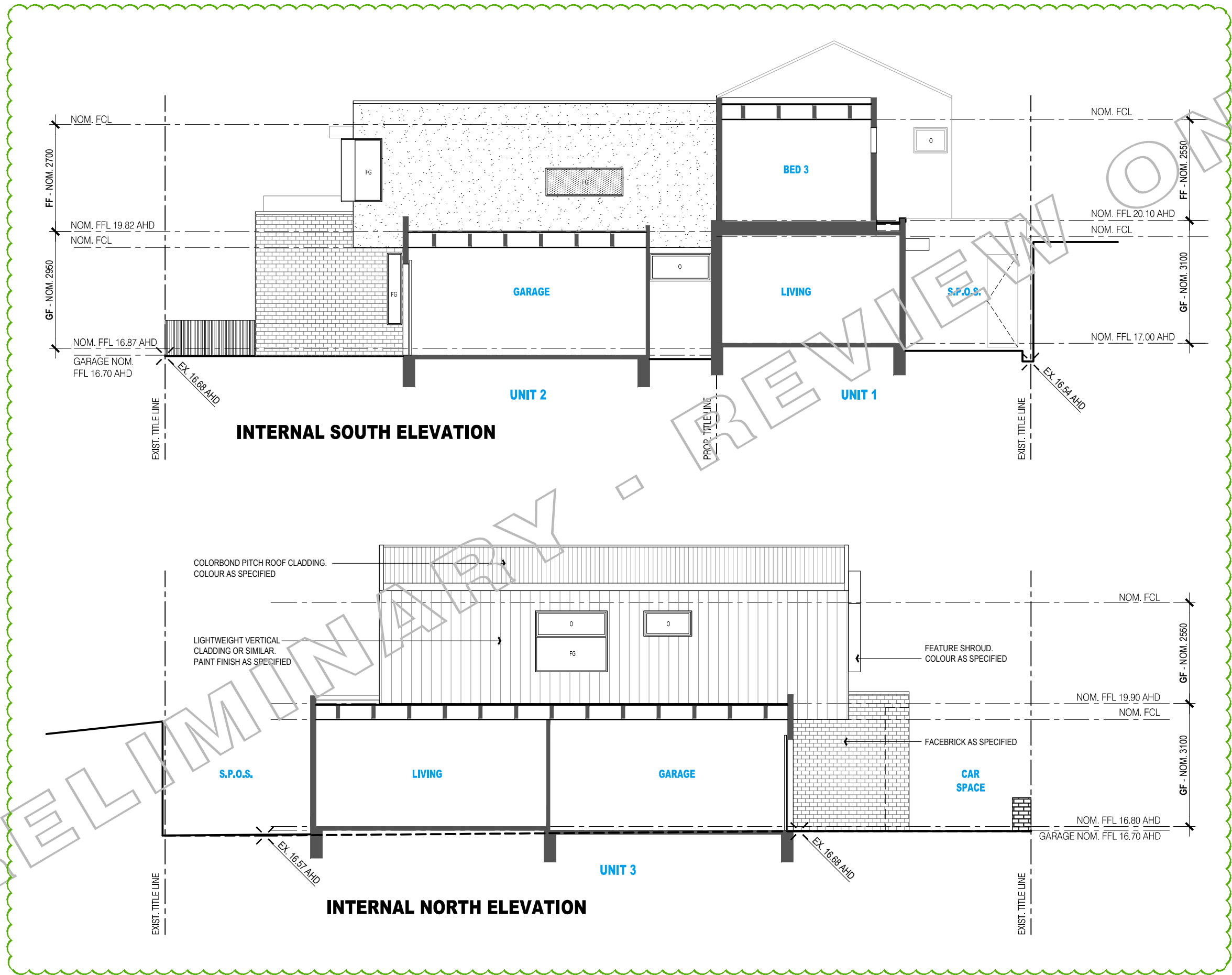
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| <p>DATE: APRIL 2022</p> | | <p>DATE: APRIL 2022</p> | | | | | | | | | | | | | | |
| <p>DATE: APRIL 2022</p> | | <p>DATE: APRIL 2022</p> | | | | | | | | | | | | | | |

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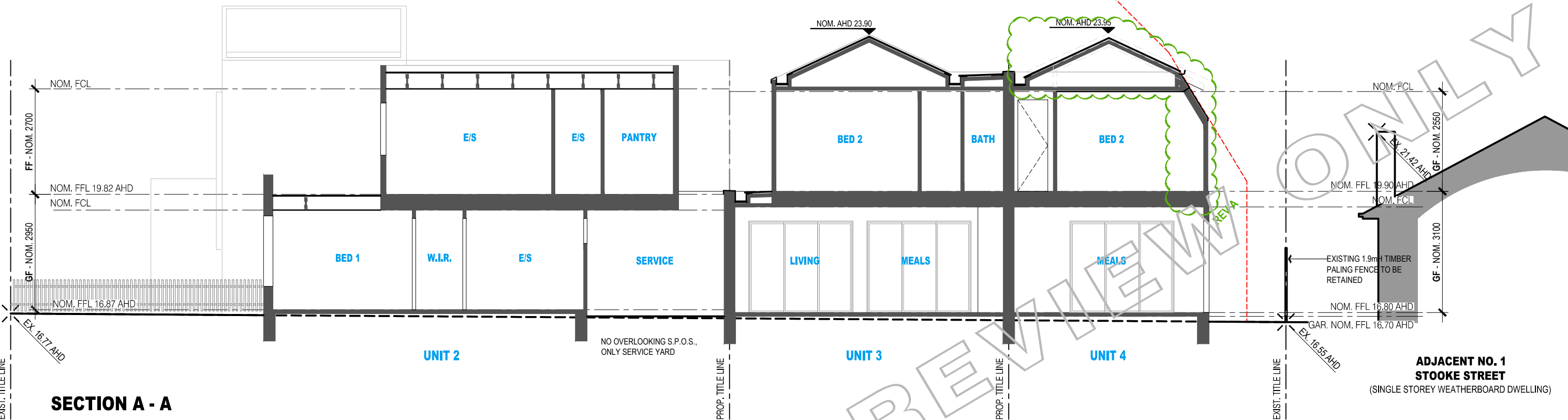
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|--|---|-----------|------------|---------------------------|----------------|---|----------------|---|----------------|--|---|---|---------------------------|--|--------------|--------|--|--|-------|------------|--|--|--|--|--|--|--|--|
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| | | DATE: | APRIL 2022 | | | | | | | | | | | | | | | | | | | | | | | | | |

REV A

KIDMAN STREET

EXIST. TITLE LINE

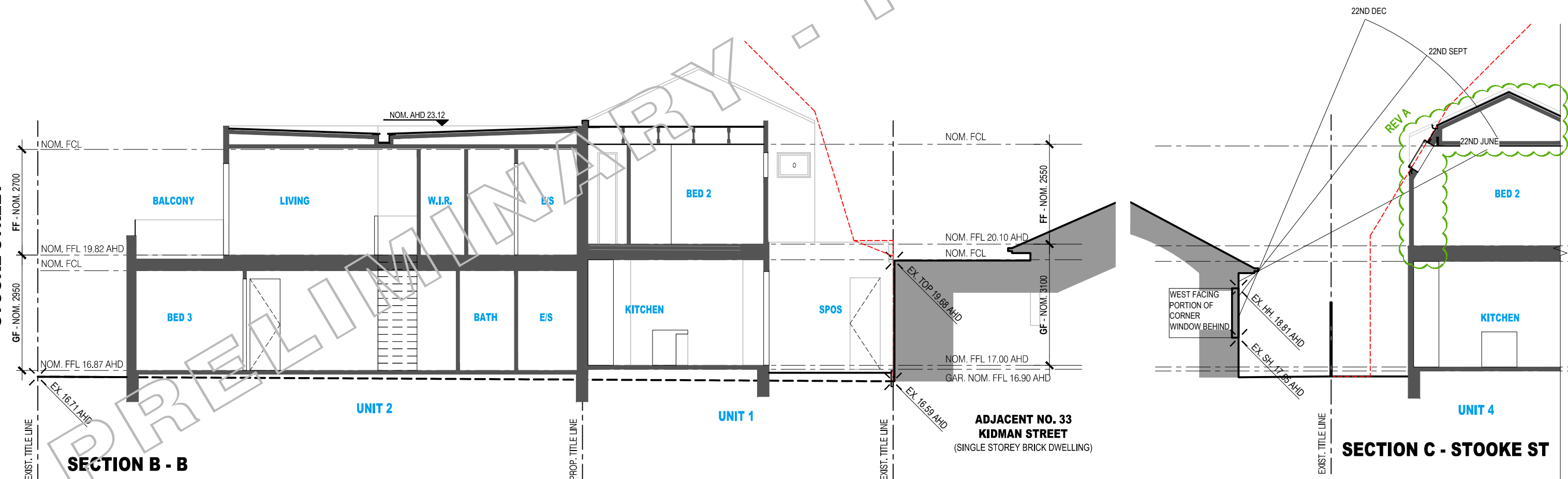


SECTION A - A

ADJACENT NO. 1
STOOKE STREET
(SINGLE STOREY WEATHERBOARD DWELLING)

STOOKE STREET

EXIST. TITLE LINE



SECTION B - B

ADJACENT NO. 33
KIDMAN STREET
(SINGLE STOREY BRICK DWELLING)

SECTION C - STOOKE ST

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|--|---|-----------|------------|---------------------------|----------------|---|----------------|---|----------------|--|---|---------------------------------------|---------------------------|--|--------------|--------|--|--|-------|------------|--|--|--|--|--|--|--|--|
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| A REVISED TO INCLUDE CONDITIONS AS PER COUNCIL'S LETTER DATED XX MARCH 2023 | XX - 03 - 2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <tr><td>CHECKED BY:</td><td>S.E.</td><td>DRAWN BY:</td><td>YT</td><td>PROJECT NO.:</td><td></td><td>REVISION NO.:</td><td>A</td></tr> <tr><td>CAD REF:</td><td></td><td>SCALE:</td><td>1:100 @A3</td><td>DERIVED FROM DRAWING No.:</td><td></td><td>DRAWING No.:</td><td>TP 6.3</td></tr> <tr><td></td><td></td><td>DATE:</td><td>APRIL 2022</td><td></td><td></td><td></td><td></td></tr> </table> | CHECKED BY: | S.E. | DRAWN BY: | YT | PROJECT NO.: | | REVISION NO.: | A | CAD REF: | | SCALE: | 1:100 @A3 | DERIVED FROM DRAWING No.: | | DRAWING No.: | TP 6.3 | | | DATE: | APRIL 2022 | | | | | | | | |
| CHECKED BY: | S.E. | DRAWN BY: | YT | PROJECT NO.: | | REVISION NO.: | A | | | | | | | | | | | | | | | | | | | | | |
| CAD REF: | | SCALE: | 1:100 @A3 | DERIVED FROM DRAWING No.: | | DRAWING No.: | TP 6.3 | | | | | | | | | | | | | | | | | | | | | |
| | | DATE: | APRIL 2022 | | | | | | | | | | | | | | | | | | | | | | | | | |



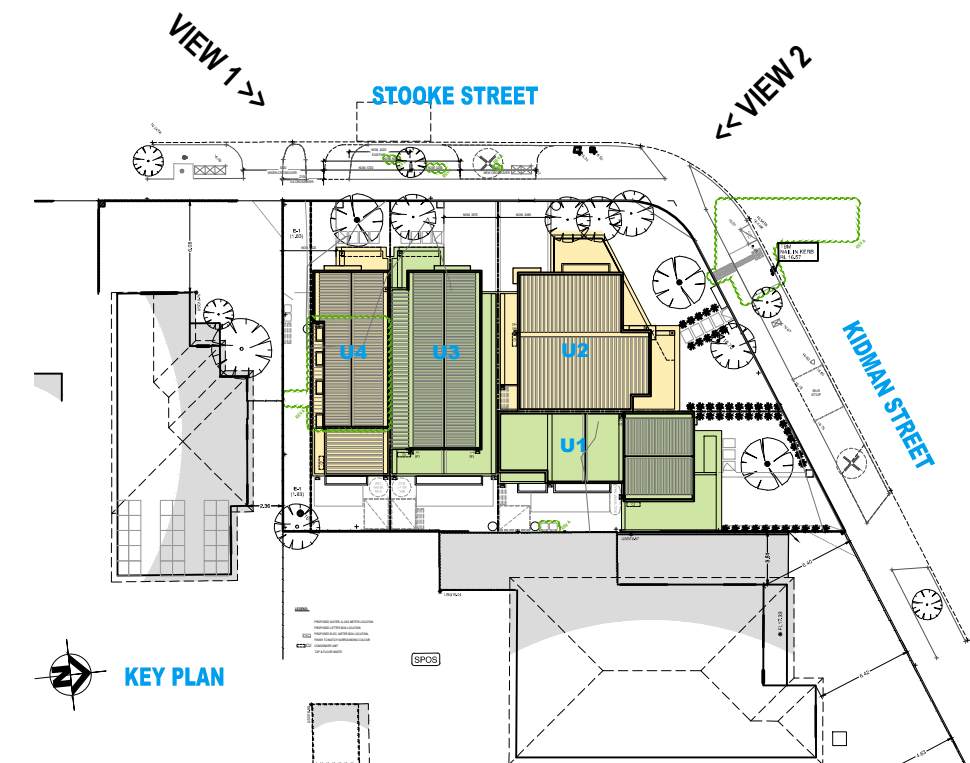
VIEW 1



VIEW 2

| LEGEND - 35 KIDMAN STREET | | |
|---------------------------|--|--------|
| | FINISH | COLOUR |
| FB1 | FACE BRICK - RECLAIMED RED BRICK OR SIMILAR | |
| FB2 | FACE BRICK - BAGGED OR PAINTED TO MATCH 'VIVID WHITE' OR SIMILAR | |
| PC1 | POWDER COATED FINISH - COLORBOND 'MONUMENT' OR SIMILAR | |
| P1 | PAINT/ RENDER FINISH - DULUX 'VIVID WHITE' OR SIMILAR | |
| P2 | PAINT/ RENDER FINISH - TO MATCH COLORBOND 'MONUMENT' OR SIMILAR | |
| P3 | PAINT/ RENDER FINISH - CONCRETE LOOK OR SIMILAR | |
| C1 | COLOURED CONCRETE BORAL COLORI 'MOONLIGHT' OR SIMILAR | |

NOTE
 REFER TO TP 8.1 EXTERNAL COLOUR SCHEMES FOR DETAILED COLOURS AND MATERIALS.
 REFER TO LANDSCAPE PLAN FOR DETAILED VEGETATION INFORMATION.
 THIS IS AN ARTISTIC IMPRESSION, REFER TO DETAILED ELEVATIONS FOR MORE INFORMATION.



NOTE: NOT FOR CONSTRUCTION

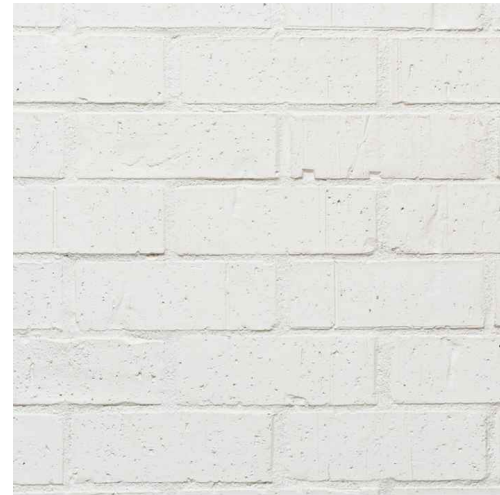
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| SUITE 301 :: 838 COLLINS STREET :: DOCKLANDS :: VICTORIA WWW.EMCTWO.COM.AU :: ACN 165 983 246 :: ABN 56 165 983 246 | REVISIONS: - ISSUE FOR TOWN PLANNING 27 - 05 - 2022 - UPDATE AS PER COUNCIL'S RF1 LETTER DATED 23 JUNE 2022 10 - 08 - 2022 A REVISED TO INCLUDE CONDITIONS AS PER COUNCIL'S LETTER DATED XX MARCH 2023 XX - 03 - 2023 | DATE: 27 - 05 - 2022 10 - 08 - 2022 XX - 03 - 2023 | CONTRACTOR MUST CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK. ARCHITECT/DRAFTSPERSON TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION | (4) UNIT DEVELOPMENT 35 KIDMAN STREET YARRAVILLE VIC 3013 | PROP. COLOUR SCHEME, FINISHES & 3D | | | |
| | CHECKED BY: S.E. CAD REF: | DRAWN BY: YT SCALE: NTS @A3 DATE: APRIL 2022 | | | PROJECT NO: - DERIVED FROM DRAWING No: | REVISION NO: A DRAWING No: TP 8.0 | | |

TOWN PLANNING ONLY



FB1 FACE BRICK - RECLAIMED RED BRICK OR SIMILAR TO U1, U3 & U4 SELECTED GF WALL, PORCH AND LETTER BOX PIERS



FB2 FACE BRICK - BAGGED OR PAINTED TO MATCH 'VIVID WHITE' OR SIMILAR TO U2 SELECTED GF WALL



PC1 POWDER COATED FINISH - COLORBOND 'MONUMENT' OR SIMILAR TO ROOF CLADDING & CAPPINGS OF ALL UNITS, ALL GARAGE DOORS, WINDOW/ DOOR FRAMES, WINDOW SHROUDS AND FRONT FENCE BATTENS
R 50
G 50
B 51



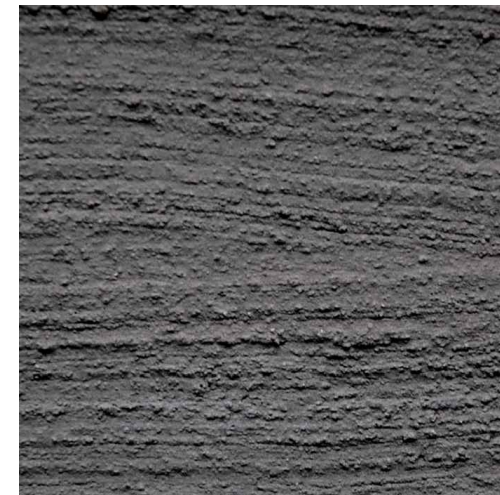
P1 PAINT/ RENDER FINISH - DULUX 'VIVID WHITE' OR SIMILAR TO ALL VERTICAL CLADDINGS
R 247
G 248
B 244




P2 PAINT/ RENDER FINISH - TO MATCH COLORBOND 'MONUMENT' OR SIMILAR TO U1, U3 & U4 SELECTED GF WALLS, U2 PORCH STRUCTURE, SHADE CANOPIES AND PRIVACY FENCES
R 50
G 50
B 51



P3 PAINT/ RENDER FINISH - CONCRETE LOOK OR SIMILAR TO U2 SELECTED FF WALLS, U2 FRONT FENCE PIERS AND U3 SELECTED FF WALLS



C1 COLOURED CONCRETE BORAL COLOR! 'MOONLIGHT' OR SIMILAR TO DRIVEWAY OF ALL UNITS

| | | | | | |
|---|--|---|---|--|--|
|  SUITE 301 :: 838 COLLINS STREET :: DOCKLANDS :: VICTORIA WWW.EMCTWO.COM.AU :: ACN 165 983 246 :: ABN 56 165 983 246 | REVISIONS: - ISSUE FOR TOWN PLANNING 27-05-2022 - UPDATE AS PER COUNCIL'S RF1 LETTER DATED 23 JUNE 2022 10-08-2022 A REVISED TO INCLUDE CONDITIONS AS PER COUNCIL'S LETTER DATED XX MARCH 2023 XX-03-2023 | DATE: 27-05-2022 10-08-2022 XX-03-2023 | CONTRACTOR MUST CHECK ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK ARCHITECT/DRAFTSPERSON TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION | (4) UNIT DEVELOPMENT 35 KIDMAN STREET YARRAVILLE VIC 3013 | PROP. COLOUR SCH. & FINISHES SAMPLES CHECKED BY: S.E. DRAWN BY: YT PROJECT NO: - REVISION NO: A CAD REF: SCALE: NTS @A3 DERIVED FROM DRAWING No: DRAWING No: TP 8.1 DATE: APRIL 2022 |
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