

MKT & ASSOCIATES PTY LTD
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMIT NUMBER 8828501765036
INSPECTION BOOKINGS
9379 0009 OR 0402 619 929
inspections@mktconsultants.com.au

23 BELAIR AVENUE, GLENROY

4 TOWNHOUSES

11/05/22



info@m3.design

Unit 2/1 Bik Lane
Fitzroy North
3068

MKT & ASSOCIATES PTY LTD
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMIT NUMBER 8828501765036
INSPECTION BOOKINGS
9379 0009 OR 0402 619 929
inspections@mktconsultants.com.au



DRAWING LIST - CONSTRUCTION DOCUMENTATION				
SHEET NUMBER	SHEET NAME	CURRENT REVISION	DATE	DESCRIPTION
A.0	PROJECT SUMMARY	2	11.05.22	Issue in response to RFI letter
A.01	PERMIT SIGNOFFING	2	11.05.22	Issue in response to RFI letter
A.02	GENERAL NOTES	2	11.05.22	Issue in response to RFI letter
A.100	DEMOLITION PLAN & SITE PLAN	4	23.06.22	Issue in response to building surveyor checklist
A.200	GROUND FLOOR PLAN	4	23.06.22	Issue in response to building surveyor checklist
A.201	FIRST FLOOR PLAN	4	23.06.22	Issue in response to building surveyor checklist
A.300	CONCRETE SET OUT & DOOR SCHEDULE	1	14.02.22	Issue for Building Permit
A.400	GROUND FLOOR - ELECTRICAL PLAN	1	14.02.22	Issue for Building Permit
A.401	FIRST FLOOR - ELECTRICAL PLAN	2	11.05.22	Issue in response to RFI letter
A.500	ELEVATIONS	3	26.05.22	Issue in response to building surveyor
A.600	WINDOW SCHEDULE	2	11.05.22	Issue in response to RFI letter
A.601	WINDOW SCHEDULE	1	14.02.22	Issue for Building Permit
A.701	SECTIONS	3	26.05.22	Issue in response to building surveyor
A.800	DETAILS	2	11.05.22	Issue in response to RFI letter
A.900	WALL TYPE SCHEDULE	4	23.06.22	Issue in response to building surveyor checklist

AREA SCHEDULE - D.01	
NAME	AREA
D.01 GF	76.88 m ²
D.01 GARAGE	22.77 m ²
D.01 GARAGE	Redundant Area
D.01 GARAGE	Redundant Area
D.01 GARAGE	Redundant Area
D.01 PORCH	1.57 m ²
D.01 FF	66.91 m ²
	168.13 m ²

AREA SCHEDULE - D.01 OPEN SPACE	
NAME	AREA
D.01 FOS	87.61 m ²
D.01 POS	38.06 m ²
	125.66 m ²

AREA SCHEDULE - D.02	
NAME	AREA
D.02 GF	54.12 m ²
D.02 GARAGE	23.17 m ²
D.02 GF	Redundant Area
D.02 GARAGE	Redundant Area
D.02 GF	Redundant Area
D.02 GARAGE	Redundant Area
D.02 GF	Redundant Area
D.02 GARAGE	Redundant Area
D.02 PORCH	1.32 m ²
D.02 FF	74.44 m ²
	153.05 m ²

AREA SCHEDULE - D.02 OPEN SPACE	
NAME	AREA
D.02 FOS	6.54 m ²
D.02 POS	33.91 m ²

AREA SCHEDULE - D.03	
NAME	AREA
D.03 GF	53.72 m ²
D.03 GARAGE	23.18 m ²
D.03 GF	Redundant Area
D.03 GARAGE	Redundant Area
D.03 GF	Redundant Area
D.03 GARAGE	Redundant Area
D.03 GF	Redundant Area
D.03 GARAGE	Redundant Area
D.03 PORCH	1.32 m ²
D.03 FF	74.59 m ²
	152.81 m ²

AREA SCHEDULE - D.03 OPEN SPACE	
NAME	AREA
D.03 FOS	5.50 m ²
D.03 POS	33.94 m ²

AREA SCHEDULE - D.04	
NAME	AREA
D.04 GF	76.04 m ²
D.04 CARPORT	27.48 m ²
D.04 GF	Redundant Area
D.04 CARPORT	Redundant Area
D.04 GF	Redundant Area
D.04 CARPORT	Redundant Area
D.04 GF	Redundant Area
D.04 CARPORT	Redundant Area
D.04 PORCH	1.09 m ²
D.04 FF	51.41 m ²
	156.02 m ²

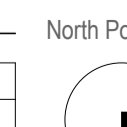
AREA SCHEDULE - D.04 OPEN SPACE	
NAME	AREA
D.04 POS	69.19 m ²

DEVELOPMENT SUMMARY	
SITE AREA	919.80 m ²

A5 & B8 SITE COVERAGE		
NAME	AREA	(%) OF SITE
SITE COVERAGE	398.96 m ²	43

GARDEN AREA		
NAME	AREA	(%) OF SITE
GARDEN AREA	322.99 m ²	36

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22



Scale
A3 /
A1 /

Drawn by
GM
Checked by
GM

Project Number
211636
Issue Date
FEB 2022

Drawing Number
A.0
Revision Issue
2



GENERAL NOTES

1. ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTS.
2. ALL LEVELS RELATE TO AUSTRALIAN HEIGHT DATUM.
3. DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE.
4. THE CONTRACTOR TO SEEK ARCHITECT'S ADVICE/INSTRUCTION SHOULD THERE BE ANY DISCREPANCY/AMBIGUITY PRIOR TO PROCEEDING WITH THE WORKS.
5. THE CONTRACTOR MUST COMPLY WITH CURRENT MUNICIPAL BY-LAWS, VICTORIAN REGULATIONS AND THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
6. THE CONTRACTOR MUST COMPLY WITH ALL RELEVANT PLANNING PERMIT CONDITIONS.
7. THE CONTRACTOR MUST OBTAIN AND COMPLY WITH AN ASSET PROTECTION PERMIT PRIOR TO COMMENCEMENT OF WORKS
8. ALL SPECIFIED MATERIAL TO BE INSTALLED AS DOCUMENTED. ANY SUBSTITUTION TO BE APPROVED BY THE ARCHITECT PRIOR TO PROCUREMENT.
9. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION.

PLANNING PERMIT CONDITIONS

TOWN PLANNING	
PERMIT NO.	MPS/2021/272
PERMIT PLANNING SCHEME:	MORELAND PLANNING SCHEME
RESPONSIBLE AUTHORITY:	MORELAND CITY COUNCIL
ADDRESS OF LAND	23 BELAIR AVENUE, GLENROY VIC 3046
WHAT THE PERMIT ALLOWS:	FOUR UNIT DEVELOPMENT (4 DWELLINGS)

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

AMENDED PLANS REQUIRED

1. BEFORE THE DEVELOPMENT COMMENCES, AMENDED PLANS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY MUST BE SUBMITTED TO AND APPROVED BY THE RESPONSIBLE AUTHORITY. WHEN APPROVED, THE PLANS WILL BE ENDORSED AND WILL THEN FORM PART OF THE PERMIT. THE PLANS MUST BE DRAWN TO SCALE WITH DIMENSIONS AND MUST BE GENERALLY IN ACCORDANCE WITH THE PLANS ADVERTISED ON 30 AUGUST 2021, INCLUDING SHEET 1 TO 18 OF 18, PREPARED BY M3 DESIGN PTY LTD, BUT MODIFIED TO SHOW:

- A) THE PROPOSED VEHICLE CROSSINGS WITH 1 METRE STRAIGHT SPLAYS ON BOTH SIDES COMMENCING WHERE THE FOOTPATH MEETS THE NATURE STRIP AND FINISHING AT THE KERB IN ACCORDANCE WITH COUNCIL'S STANDARD VEHICLE CROSSING DESIGN.
- B) A LANDSCAPE PLAN IN ACCORDANCE WITH CONDITION 3 OF THIS PERMIT.
- C) THE ESD INITIATIVES AND ANY MODIFICATION ARISING FROM THE AMENDED SDA (CONDITION 6).

COMPLIANCE WITH ENDORSED PLANS

2. THE DEVELOPMENT AS SHOWN ON THE ENDORSED PLANS MUST NOT BE ALTERED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. THIS DOES NOT APPLY TO ANY EXEMPTION SPECIFIED IN CLAUSES 62.02-1 AND 62.02-2 OF THE MORELAND PLANNING SCHEME UNLESS SPECIFICALLY NOTED AS A PERMIT CONDITION.

LANDSCAPING

3. PRIOR TO THE ENDORSEMENT OF PLANS, A LANDSCAPE PLAN MUST BE SUBMITTED TO THE RESPONSIBLE AUTHORITY. THE LANDSCAPE PLAN MUST BE GENERALLY IN ACCORDANCE WITH THE LANDSCAPE PLAN ADVERTISED ON 30 AUGUST 2021, PREPARED BY M3 DESIGN PTY LTD. WHEN SUBMITTED AND APPROVED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY, THE LANDSCAPE PLAN WILL BE ENDORSED TO FORM PART OF THIS PERMIT. NO ALTERATIONS TO THE PLAN MAY OCCUR WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

4. ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY IN ACCORDANCE WITH THE ENDORSED LANDSCAPE PLANS. ANY DEAD, DISEASED OR DAMAGED PLANTS MUST BE REPLACED WITH A SUITABLE SPECIES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

5. PRIOR TO DEVELOPMENT COMMENCING (INCLUDING ANY DEMOLITION, EXCAVATIONS, TREE REMOVAL, DELIVERY OF BUILDING/CONSTRUCTION MATERIALS AND/OR TEMPORARY BUILDINGS), ALL COUNCIL TREES, INCLUDING THOSE LOCATED ALONG THE SITES BELAIR AVENUE FRONTAGE, MUST HAVE A TREE PROTECTION ZONE (TPZ) IN ACCORDANCE WITH AS4970 PROTECTION OF TREES ON DEVELOPMENT SITES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. THE TPZ MUST MEET THE FOLLOWING REQUIREMENTS:

- A) TREE PROTECTION FENCING

TREE PROTECTION FENCING (TPF) IS TO BE PROVIDED TO THE EXTENT OF THE TPZ, CALCULATED AS BEING A RADIUS OF 12 X DIAMETER AT BREAST HEIGHT (DBH - MEASURED AT 1.4 METRES ABOVE GROUND LEVEL AS DEFINED BY THE AUSTRALIAN STANDARD AS 4970:2009). THE TPF MAY BE ALIGNED WITH ROADWAYS, FOOTPATHS AND BOUNDARY FENCES WHERE THEY INTERSECT THE TPZ.

IF WORKS ARE SHOWN ON ANY ENDORSED PLAN OF THIS PERMIT WITHIN THE CONFINES OF THE CALCULATED TPZ, THEN THE TPF MUST BE TAKEN IN TO ONLY THE MINIMUM AMOUNT NECESSARY TO ALLOW THE WORKS TO BE COMPLETED. THE TPF MUST BE ERECTED TO FORM A VISUAL AND PHYSICAL BARRIER, BE A MINIMUM HEIGHT OF 1.5 METRES ABOVE GROUND LEVEL AND OF MESH PANELS, CHAIN MESH OR SIMILAR MATERIAL. A TOP LINE OF HIGH VISIBILITY PLASTIC TAPE MUST BE ERECTED AROUND THE PERIMETER OF THE FENCE.

- B) SIGNAGE

FIXED SIGNS ARE TO BE PROVIDED ON ALL VISIBLE SIDES OF THE TPF CLEARLY STATING "TREE PROTECTION ZONE - NO ENTRY. NO EXCAVATION OR TRENCHING. NO STORAGE OF MATERIALS OR WASTE.". THE TPF SIGNAGE MUST BE COMPLIED WITH AT ALL TIMES.

- C) IRRIGATION

THE AREA WITHIN THE TPZ AND TPF MUST BE IRRIGATED DURING THE SUMMER MONTHS WITH 1 LITRE OF CLEAN WATER FOR EVERY 1CM OF TRUNK GIRTH MEASURED AT THE SOIL/TRUNK INTERFACE ON A WEEKLY BASIS.

- D) PROVISION OF SERVICES

ALL SERVICES (INCLUDING WATER, ELECTRICITY, GAS AND TELEPHONE) MUST BE INSTALLED UNDERGROUND, AND LOCATED OUTSIDE OF ANY TPZ, WHEREVER PRACTICALLY POSSIBLE. IF UNDERGROUND SERVICES ARE TO BE ROUTED WITHIN AN ESTABLISHED TPZ, THIS MUST OCCUR IN ACCORDANCE WITH AUSTRALIAN STANDARD AS4970.

AMENDED SUSTAINABLE DESIGN ASSESSMENT

6. PRIOR TO THE ENDORSEMENT OF PLANS, AN AMENDED SUSTAINABLE DESIGN ASSESSMENT (SDA) AND PLANS MUST BE SUBMITTED TO THE SATISFACTION BY THE RESPONSIBLE AUTHORITY. THE SUSTAINABLE DESIGN ASSESSMENT MUST DEMONSTRATE A BEST PRACTICE STANDARD OF ENVIRONMENTALLY SUSTAINABLE DESIGN AND BE GENERALLY IN ACCORDANCE WITH THE SDA BY M3 ADVERTISED 30/08/2021 BUT MODIFIED TO INCLUDE THE FOLLOWING CHANGES:

- A) PROVIDE PRELIMINARY NATHERS RATINGS ASSESSMENTS FOR ALL DWELLINGS DEMONSTRATING A MINIMUM 6.5 NATHERS STAR RATING AVERAGE ACROSS THE DEVELOPMENT

- B) AMEND THE BESS REPORT (AND ANY OTHER CORRESPONDING DOCUMENTATION) TO:

- I. ENTER THE PRELIMINARY NATHERS DATA INTO THE DWELLING ENERGY PROFILES
- II. SDA UPDATED TO REFERENCE ACHIEVING A MINIMUM 6.5-STAR AVERAGE ACROSS THE DEVELOPMENT
- III. CHANGE WASHING MACHINE SELECTION FROM "SCOPE OUT" TO "3 STAR" OR "DEFAULT" TO ACCOUNT FOR THE WORST OPTION THAT FUTURE RESIDENTS WILL INSTALL

IV. ANNOTATE MANAGEMENT CREDIT 4.1 'BUILDING USERS GUIDE' TO PROVIDE A SHORT DESCRIPTION OF WHAT INFORMATION WILL BE INCLUDED IN THE GUIDE

- C) SHOW THE FOLLOWING ESD INITIATIVES ON THE DEVELOPMENT PLANS:

I. EXTERNAL OPERABLE SHADING DEVICES TO ALL EAST AND WEST FACING HABITABLE ROOM GLAZING TO BLOCK PEAK SUMMER SUN. A PRODUCT DIAGRAM OR SECTION DETAIL OF THE PROPOSED DEVICE MUST BE PROVIDED.

II. EXTERNAL SHADING MUST BE PROVIDED FOR THE NORTH FACING HABITABLE ROOM GLAZING. WHERE AN EXTERNAL FIXED HORIZONTAL SHADING DEVICE IS BEING SPECIFIED, THE DEPTH OF THE DEVICE SHOULD BE EQUAL TO 25% OF THE DISTANCE FROM SILL HEIGHT TO THE BASE OF THE DEVICE AND EXTEND HORIZONTALLY BY THE SAME LENGTH TO BOTH SIDES.

III. DOUBLE GLAZING TO ALL HABITABLE ROOMS (INCLUDING STUDY AREAS) TO BE ANNOTATED ON EACH INDIVIDUAL GLAZING UNIT ON ELEVATION PLANS AND SPECIFIED ON THE MATERIAL/COLOUR SCHEDULE.

IV. DETAILS OF THE PERMEABLE PAVING ON PLANS INCLUDING THE AREAS OF PERMEABLE PAVING AND A CROSS SECTIONAL DRAWING AS PER MORELAND WSUD GUIDELINES.

D) AN AMENDED STORM REPORT AND STORMWATER MANAGEMENT RESPONSE THAT MAINTAINS A MINIMUM STORM SCORE OF 100% BUT IS MODIFIED SO THAT:

I. ALL IMPERVIOUS AREAS ARE ACCOUNTED FOR AND CONSISTENT BETWEEN THE WSUD CATCHMENT PLAN, ARCHITECTURAL PLANS AND BESS REPORT INPUTS.

E) AN AMENDED STORMWATER CATCHMENT PLAN (BASED ON THE ROOF PLAN) THAT IS CONSISTENT WITH THE STORM REPORT:

I. RUNNING CHARGED RAINWATER PIPES UNDER SLABS (INCLUDING GARAGE SLAB) IS NOT SUPPORTED. THE CATCHMENT PLAN SHOULD HAVE DOWNPIPE LOCATIONS DEMONSTRATING HOW THE STORMWATER INITIATIVES WILL BE ACHIEVED WITHOUT THE NEED FOR CHARGED RAINWATER PIPING SYSTEMS UNDERNEATH DWELLINGS FOOTINGS OR SLABS.

II. ALL STORMWATER CATCHMENT AREAS (IMPERVIOUS AREAS AND ROOFS) CLEARLY MARKED AND DIMENSIONED AND CONNECTED TO CORRESPONDING WATER SENSITIVE URBAN DESIGN (WSUD) TREATMENT MEASURES;

III. DETAILS OF WSUD TREATMENT MEASURES (SUCH AS WATER TANKS AND PERMEABLE PAVING), INCLUDING THEIR LOCATION, CROSS SECTIONS (WHERE APPROPRIATE), AND HOW THE TREATMENT TYPE CAN BE REALISTICALLY ACHIEVED.

IV. ANY UNTREATED ROOFS/IMPERVIOUS DRIVEWAY AREAS CLEARLY IDENTIFIED. WHERE ALTERNATIVE ESD INITIATIVES ARE PROPOSED TO THOSE SPECIFIED IN THIS CONDITION, THE RESPONSIBLE AUTHORITY MAY VARY THE REQUIREMENTS OF THIS CONDITION AT ITS DISCRETION, SUBJECT TO THE DEVELOPMENT ACHIEVING EQUIVALENT (OR GREATER) ESD OUTCOMES IN ASSOCIATION WITH THE DEVELOPMENT.

WHEN SUBMITTED AND APPROVED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY, THE AMENDED SDA AND ASSOCIATED NOTATED PLANS WILL BE ENDORSED TO FORM PART OF THIS PERMIT. NO ALTERATIONS TO THE SDA MAY OCCUR WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

7. PRIOR TO THE ISSUE OF A STATEMENT OF COMPLIANCE OR CERTIFICATE(S) OF OCCUPANCY WHICHEVER OCCURS FIRST, ALL WORKS MUST BE UNDERTAKEN IN ACCORDANCE WITH THE ENDORSED SUSTAINABLE DESIGN ASSESSMENT REPORT TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. NO ALTERATIONS TO THESE PLANS MAY OCCUR WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY

VEHICLE CROSSINGS AND ACCESS

8. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, A VEHICLE CROSSING MUST BE CONSTRUCTED IN EVERY LOCATION SHOWN ON THE ENDORSED PLANS TO A STANDARD SATISFACTORY TO THE RESPONSIBLE AUTHORITY (MORELAND CITY COUNCIL, CITY INFRASTRUCTURE DEPARTMENT).

9. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, ANY EXISTING VEHICLE CROSSING NOT TO BE USED IN THIS USE OR DEVELOPMENT MUST BE REMOVED AND THE KERB AND CHANNEL, FOOTPATH AND NATURE STRIP REINSTATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY (MORELAND CITY COUNCIL, CITY INFRASTRUCTURE DEPARTMENT).

10. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, ANY COUNCIL OR SERVICE AUTHORITY POLE OR PIT WITHIN 1 METRE OF A PROPOSED VEHICLE CROSSING, INCLUDING THE 1 METRE SPLAYS ON THE CROSSING, MUST BE RELOCATED OR MODIFIED AT THE EXPENSE OF THE PERMIT HOLDER TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AND THE RELEVANT SERVICE AUTHORITY.

LIGHTING TO ACCESSWAY

11. BEFORE THE OCCUPATION OF THE DEVELOPMENT, AUTOMATIC OR SENSOR-CONTROLLED LIGHTING NO HIGHER THAN 1.2 METRES ABOVE GROUND LEVEL IS TO BE INSTALLED AND MAINTAINED ON THE LAND TO AUTOMATICALLY ILLUMINATE PEDESTRIAN ACCESS TO THE REAR DWELLING(S) BETWEEN DUSK AND DAWN WITH NO DIRECT LIGHT EMITTED ONTO ADJOINING PROPERTY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

DRAINAGE

12. ALL STORMWATER FROM THE LAND, WHERE IT IS NOT COLLECTED IN RAINWATER TANKS FOR RE USE, MUST BE COLLECTED BY AN UNDERGROUND PIPE DRAIN APPROVED BY AND TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY (NOTE: PLEASE CONTACT MORELAND CITY COUNCIL, CITY INFRASTRUCTURE DEPARTMENT).

GENERAL

13. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, ALL BOUNDARY WALLS MUST BE CONSTRUCTED, CLEANED AND FINISHED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

14. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, ALL VISUAL SCREENING MEASURES SHOWN ON THE ENDORSED PLANS MUST BE INSTALLED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. ALL VISUAL SCREENING AND MEASURES TO PREVENT OVERLOOKING MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. ANY SCREENING MEASURE THAT IS REMOVED OR UNSATISFACTORILY MAINTAINED MUST BE REPLACED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

15. PRIOR TO THE ISSUE OF AN OCCUPANCY PERMIT OR ISSUE OF A STATEMENT OF COMPLIANCE, WHICHEVER COMES FIRST, ALL TELECOMMUNICATIONS AND POWER CONNECTIONS (WHERE BY MEANS OF A CABLE) AND ASSOCIATED INFRASTRUCTURE TO THE LAND (INCLUDING ALL EXISTING AND NEW BUILDINGS) MUST BE UNDERGROUND TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

16. PRIOR TO THE ISSUE OF A BUILDING PERMIT IN RELATION TO THE DEVELOPMENT APPROVED BY THIS PERMIT, A DEVELOPMENT INFRASTRUCTURE LEVY AND COMMUNITY INFRASTRUCTURE LEVY MUST BE PAID TO MORELAND CITY COUNCIL IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CONTRIBUTIONS PLAN.

IF AN APPLICATION FOR SUBDIVISION OF THE LAND IN ACCORDANCE WITH THE DEVELOPMENT APPROVED BY THIS PERMIT IS SUBMITTED TO COUNCIL, PAYMENT OF THE DEVELOPMENT INFRASTRUCTURE LEVY CAN BE DELAYED TO A DATE BEING WHICHEVER IS THE SOONER OF THE FOLLOWING:

A) FOR A MAXIMUM OF 12 MONTHS FROM THE DATE OF ISSUE OF THE BUILDING PERMIT FOR THE DEVELOPMENT HEREBY APPROVED, OR

B) PRIOR TO THE ISSUE OF A STATEMENT OF COMPLIANCE FOR THE SUBDIVISION. WHEN A STAGED SUBDIVISION IS SOUGHT, THE DEVELOPMENT INFRASTRUCTURE LEVY MUST BE PAID PRIOR TO THE ISSUE OF A STATEMENT OF COMPLIANCE FOR EACH STAGE OF SUBDIVISION IN ACCORDANCE WITH A SCHEDULE OF DEVELOPMENT CONTRIBUTIONS APPROVED AS PART OF THE SUBDIVISION.

TIME AND EXPIRY

17. THIS PERMIT WILL EXPIRE IF ONE OF THE FOLLOWING CIRCUMSTANCES APPLIES:

A) THE DEVELOPMENT IS NOT COMMENCED WITHIN TWO (2) YEARS FROM THE DATE OF ISSUE OF THIS PERMIT; B) THE DEVELOPMENT IS NOT COMPLETED WITHIN FOUR (4) YEARS FROM THE DATE OF ISSUE OF THIS PERMIT. THE RESPONSIBLE AUTHORITY MAY EXTEND THE PERIOD REFERRED TO IF A REQUEST IS MADE IN WRITING BEFORE THE PERMIT EXPIRES OR;

I. WITHIN SIX MONTHS AFTER THE PERMIT EXPIRES TO EXTEND THE COMMENCEMENT DATE.

II. WITHIN 12 MONTHS AFTER THE PERMIT EXPIRES TO EXTEND THE COMPLETION DATE OF THE DEVELOPMENT IF THE DEVELOPMENT HAS LAWFULLY COMMENCED.

NOTES: THESE NOTES ARE FOR INFORMATION ONLY AND DO NOT CONSTITUTE PART OF THIS PERMIT OR CONDITIONS OF THIS PERMIT.

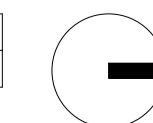
GENERAL NOTES

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ALL APPROPRIATE CONSULTANT REPORTS AND DOCUMENTS, INCLUDING BUT NOT LIMITED TO:

- STRUCTURAL ENGINEERING DOCUMENTATION AND COMPUTATIONS
- CIVIL ENGINEERING DOCUMENTATION AND COMPUTATIONS
- GEOTECHNICAL ENGINEERING REPORT
- FIRST RATE ENERGY REPORT

IF ANY DISCREPANCIES ARISE IN THESE DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ARCHITECT AT THE APPROPRIATE TIME, TO ALLOW FOR RECTIFICATION OR FURTHER CO-ORDINATION.

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22



GENERAL NOTES

THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF M3 DESIGN, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF M3 DESIGN DOES SO AT THEIR OWN RISK - AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY M3 DESIGN OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE THIS DRAWING - FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR - CONTACT THIS OFFICE IMMEDIATELY.

-ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.

-THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

-THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS.

WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

BCA AND STANDARDS - GENERAL

ALL WORKS SHALL COMPLY WITH THE BCA 2019 AND NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:

A.S 1288-2006 -GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
A.S 1562-2018 -DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
A.S 1684.2-2010 -NATIONAL TIMBER FRAMING CODE
A.S 1860-2006 -INSTALLATION OF PARTICALBOARD FLOORING
A.S 2047-2014 -WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS
A.S 2049- 2002 -ROOF TILES
A.S 2050-2018 -INSTALLATION OF ROOFING TILES
A.S 2870-2011 -RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
A.S 2904-1995 -DAMP PROOF COURSES AND FLASHINGS
A.S 3800- 2018 CONCRETE STRUCTURES
A.S 3860.1- 2014 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDINGS
A.S 3700-2018 -MASONRY STRUCTURES
A.S 3740-2010 & BCA PART 3.8.1 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
A.S 3786-2014 -SMOKE ALARMS
A.S 4100-1998 -STEEL STRUCTURES
A.S 4256-1994/96 PLASTIC ROOF AND WALL CLADDING MATERIALS

GLAZING

GLAZING SHALL COMPLY WITH AS1288-2006 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

1.ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR
2.BATHROOMS WITHIN 1500MM VERTICAL FROM THE BATH BASE
3.LAUNDRY WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ALL DOORS
4.DOORWAY WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

STRUCTURAL REQUIREMENTS

-NO FOOTINGS ARE TO ENCRROACH TITLE BOUNDARIES AND EASEMENT LINES. ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS.3600.

-ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.

-ALL DAMP PROOF COURSES AND FLASHINGS MUST BE IN ACCORDANCE WITH AS.2904.

-STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100.

-ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm.

-PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684.

SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLYNTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.

CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING. REFER TO PART 3.4.1 DIAGRAM B OF BCA 2009 FOR SUB-FLOOR VENTILATION DETAILS.

ROOF TRUSSES

ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

STAIRS, LANDINGS AND BALUSTRADES

1.STAIRS, STAIRWAYS AND BALUSTRADES TO COMPLY WITH BCA 3.9.1 AND 3.9.2.

STAIR REQUIREMENTS: (OTHER THAN SPIRAL STAIRS)
RISERS 190MM MAXIMUM, 115MM MINIMUM;
GOING 355MM MAXIMUM,240MM MINIMUM;
PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

2.PROVIDE NONSLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISES. PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM.

3.HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL. 865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.

4.MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM. CONTINUOUS HANDRAIL TO BE INSTALLED TO ONE SIDE OF STAIR COMPLIANT WITH PART 3.9.2.4 OF THE BCA2019

LIGHTING

1. ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS 1680.0-2009
2. ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH PART 3.12.5.5 OF THE BCA 2019

THRESHOLDS

IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900MM WIDE X 900MM LONG, WHICHEVER IS GREATER.

INSULATION

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.

TERMITE AND CORROSION PREVENTION

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1

PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH BCA VOL.2 TABLE 3.3.3.2.

PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA VOL.2 TABLE 3.5.1.

CORROSION

FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALT WATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.

BUSHFIRE DESIGN INFORMATION

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS.3959.2009, WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE IMMEDIATELY.

STORMWATER AND DRAINAGE

STORMWATER SHALL COMPLY WITH AS/NZS 3500.3-2003

1. STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
2. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS

INSPECTION OPENINGS TO BE AT 900mm CTRS AND AT EACH CHANGE OF DIRECTION.

PROVIDE 100mm DIA UPVC PIPES
PROVIDE 75mm DIA DOWNPIPES
PROVIDE A MINIMUM FALL GRADIENT OF 1:100

BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER.
THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:

100mm UNDER SOIL
50mm UNDER PAVED OR CONCRETE AREAS
100mm UNDER UN-REINFORCED CONCRETE OR PAVED DRIVEWAYS
75mm UNDER REINFORCED CONCRETE DRIVEWAYS

ALL BOX GUTTERS TO BE A MINIMUM OF 100mm x 200mm UNLESS OTHERWISE SPECIFIED - 1:100 GRADE MINIMUM - ADJUST TO SUIT ON SITE.

SEWER AND SEPTIC SYSTEMS TO BE IN ACCORDANCE WITH AS.3500

SURFACE WATER TO BE DIVERT AWAY FROM THE SLAB-ON-GROUND SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1M FROM THE BUILDING

THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

WATER PROOFING

1.WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH PART 3.8.1 OF THE BCA AND AS.3740-2010 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
2.BALCONY WATERPROOF MEMBRANE TO BE SELECTED IN ACCORDANCE WITH AS4654.1-2012 AND SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.2-2010

PLIABLE BUILDING MEMBRANE WHERE INSTALLED IN EXTERNAL WALLS TO COMPLY WITH ASINZA 4200.1 & TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2

VENTILATION

1.MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE BCA
2.PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICLEBOARD FLOORING OR 300MM WHERE IN TERMITE PRONE AREA
3.VENTILATION OF ROOF SPACES TO BE IN ACCORDANCE WITH NCC 2019 VOLUME TWO CLAUSE 3.8.7.4

SUB FLOOR VENTS TO PROVIDE A RATE OF 6000MM SQ. CLEAR VENTILATION PER 1000MM RUN OF EXTERNAL MASONRY WALL A

SMOKE ALARMS

LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2014 AND PART 3.7.2 OF THE BCA 2016 AND SHALL BE HARD WIRED WITH BATTERY BACKUP.

MASONARY

1.MASONRY TO COMPLY WITH AS3700-2018
2.PROVIDE WALL TIES TO BRICKWORK AS PER 3.3.3.2. BCA. GENERALLY WALL TIES TO BE 600MM CTRS IN EACH DIRECTION FOR CAVITY MASONRY, FOR MASONRY VENEER: 600X450 FOR 450 STUD WALLS AND 600X600 FOR 600 STUD WALLS AND WITHIN 300MM OF ARTICULATION JOINTS.
3.PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 6000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS
2200MM SQ. CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS
4.SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.
5.WEEP HOLES TO BE PROVIDED AT 1.2M CENTRES AND ABOVE OPENINGS GREATER THAN 1.2M
6.PROVIDE THE FOLLOWING DAMP-PROOF COURSE CLEARANCES:
i) 150MM ABOVE EXTERNAL GROUND LEVEL
ii) 75MM ABOVE EXTERNAL FINISHED PAVING LEVEL IN ACCORDANCE WITH AS3700.
iii) 50MM ABOVE EXTERNAL PAVED SURFACES WHERE COVERED
7. ARTICULATION JOINTS ADJACENT TO OPENINGS SHALL BE CONTINUES.

ROOF

1.ROOF STORMWATER DRAINAGE SHALL BE IN ACCORDANCE WITH AS3500.3-2018
2.METAL ROOFING AND CLADDING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS1562.1-2018

BALUSTRADE

1.INTERLINKING HANDRAIL TO BE PROVIDED TO GALSS BALUSTRADES.
2.GLASS BALUSTRADE SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH SECTION 7 OF AS1288-2006.
3.BALUSTRADE TO BE MINIMUM 1M IN HEIGHT AND SHALL NOT HAVE ANY GAPS GREATER THAN 125MM.

OTHER GENERAL NOTES

(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK-UP.

(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL EXHAUST FANS TO OUTSIDE AIR WHERE POSSIBLE -OR, AN EXHAUST FAN OF RATING 140/S MIN TO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000mm HORIZONTAL DUCT - IN ACCORDANCE WITH AS.1668. EXTERNAL DISCHARGE RATE MINIMUM 25/S.

SANITARY COMPARTMENT DOORS MUST EITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE UNLESS A MINIMUM CLEARANCE OF 1200mm BETWEEN THE DOOR AND THE PAN IS ACHIEVED.

SUBFLOOR

ALL SUB-FLOOR CONSTRUCTION AS PER ENGINEERS DESIGN & SPECIFICATIONS.
REFER TO ENGINEERS DRAWINGS AND COMPUTATIONS.

EXTERNAL FINISHES

EXTERNAL FINISHES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS. ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AUSTRALIAN STANDARDS.

WINDOWS

ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS.

WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES.

BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY.

WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY.

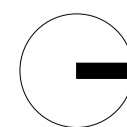
BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.

ALL GLAZING MUST COMPLY WITH AS.1288

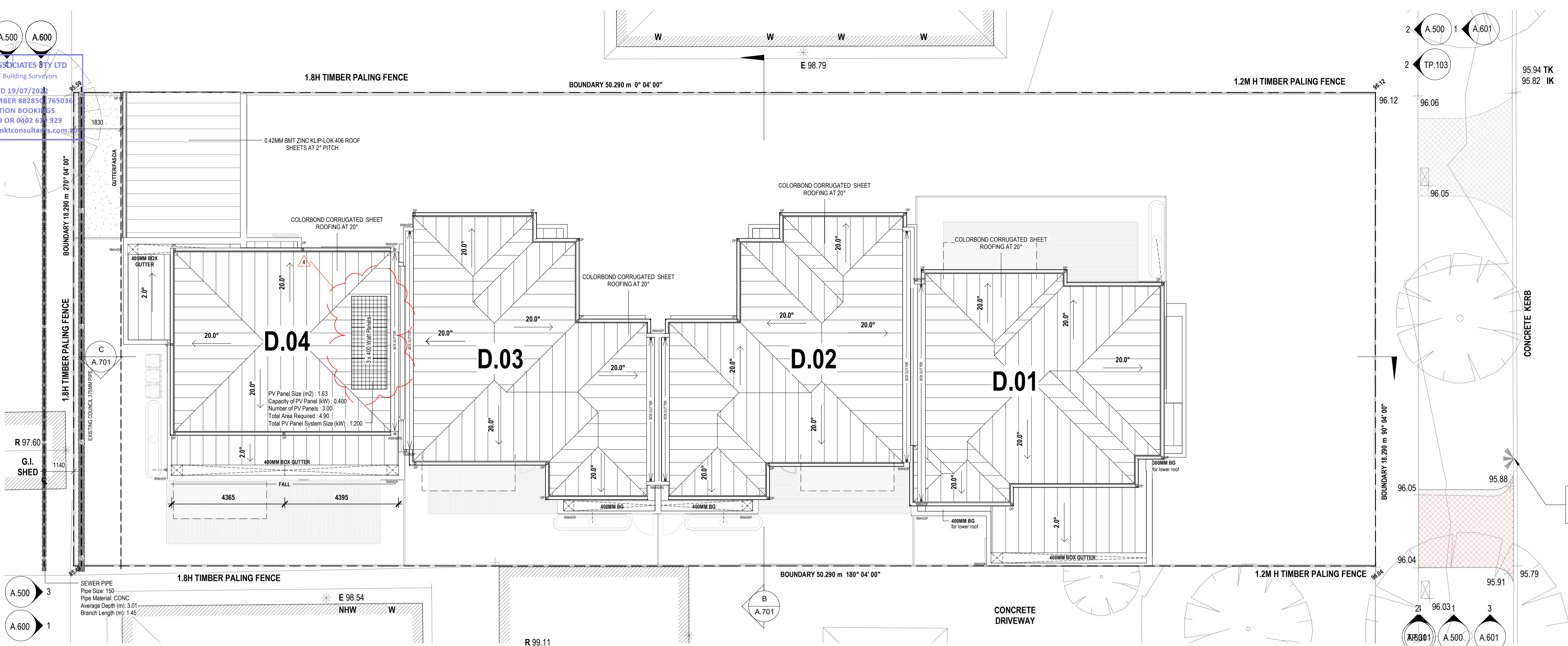
ALL WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE UNLESS OTHERWISE STATED.

ALL WINDOWS AND DOORS TO BE IN ACCORDANCE WITH AS2047-2014.

Rev	Description	Date
1	Issue for Building Permt	14.02.22
2	Issue in response to RFI letter	11.05.22

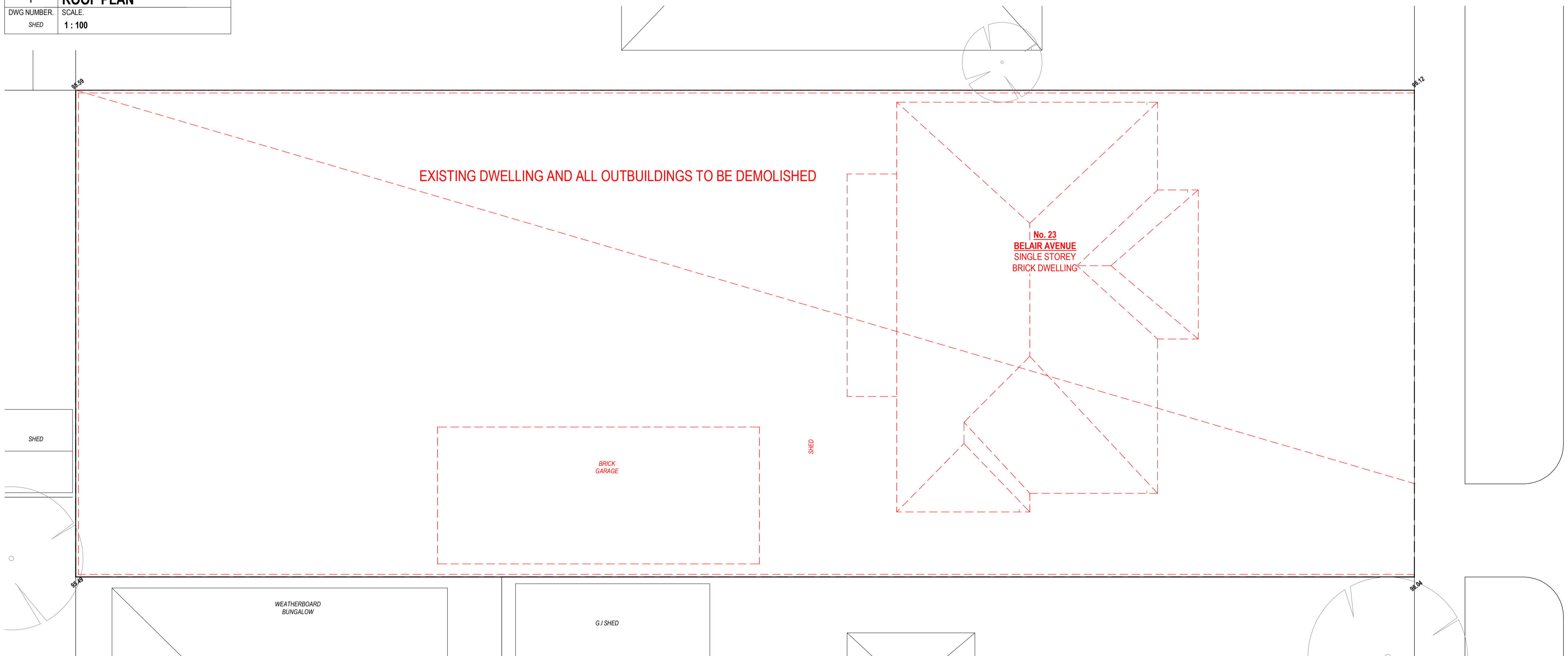


MKT & ASSOCIATES PTY LTD
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMIT NUMBER 882850765036
INSPECTION BOOKINGS
9379 0009 OR 0492 650 929
inspections@mktconsultants.com.au



DWG REF.	VIEW NAME
1	ROOF PLAN
DWG NUMBER	SCALE
SHED	1 : 100

DWG REF.	VIEW NAME
2	SITE ANALYSIS
DWG NUMBER	SCALE
A.200	1 : 100



LEGEND
NOTE: REFER TO ENGINEERS DOCUMENTATION FOR DESIGNS AND SPECIFICATIONS OF ALL RETAINING WALLS.
RT1 RETAINING WALL - BLOCK
RT2 RETAINING WALL - BLOCK
RT3 RETAINING WALL - TIMBER SLEEPERS
BP1 BORED PIERS

LEGEND - FENCES & SCREENS
FC1 1800MM HIGH TIMBER PALING FENCE (BOUNDARY)
FC2 1150MM HIGH TIMBER PALING FENCE
FC3 2000MM METAL PICKET FENCE WITH GATE

PRELIMINARIES

- PROTECTION OF PERSONS & PROPERTY TEMPORARY WORKS: PROVIDE HOARDINGS, FOOTPATHS, SHORING, SIGNAGE, LIGHTING, AND TRAFFIC CONTROL. PROPERTY DO NOT INTERFERE WITH OR DAMAGE PROPERTY WHICH IS TO REMAIN ON OR ADJACENT TO THE SITE, INCLUDING TREES.
- RECTIFICATION ACCESS WAYS & SERVICES: RECTIFY IMMEDIATELY DAMAGE TO ROADWAYS, DRAINS, AND OTHER SERVICES ON OR ADJACENT TO THE SITE. PROVIDE TEMPORARY SERVICES WHILST REPAIRS ARE CARRIED OUT PROPERTY. RECTIFY IMMEDIATELY DAMAGE TO ON SITE OR ADJOINING SITE PROPERTY WHICH IS TO REMAIN INCLUDING TREES.
- EXISTING SERVICES IF THE SERVICE IS TO BE CONTINUED, REPAIR, DIVERT, OR RELOCATE. SUBMIT PROPOSALS IF THE SERVICE CROSSES THE LINE OF A REQUIRED TRENCH PROVIDE PERMANENT SUPPORT. SUBMIT PROPOSALS IF THE SERVICE IS TO BE ABANDONED. REMOVE REDUNDANT PARTS AND MAKE SAFE.
- ADJOINING PROPERTY PREPARE PROTECTION WORKS DOCUMENTS AND ISSUE TO THE ADJOINING PROPERTY OWNERS AS NOMINATED BY THE BUILDING SURVEYOR.
- PROTECTIVE CLOTHING: PROVIDE SAFETY HELMETS TO ANZS 1801, TYPE 1.
- CONTRACTOR TO ENSURE COMPLIANCE WITH SAFETY IN DESIGN, OCCUPATIONAL HEALTH AND SAFETY, AND WORK SAFE AUSTRALIA AS REQUIRED BY LAW.
- PROJECT SIGN BOARDS: NOT REQUIRED.
- SETTING OUT: THE CONTRACTOR IS RESPONSIBLE TO SET THE BUILDING OUT USING SUITABLY QUALIFIED SURVEYORS. ESTABLISH SETOUT WITH SURVEY PEGS, BENCH MARKS, REFERENCE MARK, AND THE LIKE SUITABLE FOR SETTING OUT OR MEASURING THE WORK. PRESERVE SURVEY MARKS IN THEIR TRUE POSITION.
- BUILDING THE WORKS: CONTRACTOR'S REPRESENTATIVE MUST BE FLUENT IN ENGLISH AND TECHNICAL TERMINOLOGY AND CONDUCT AND HOLD REGULAR SITE MEETINGS.
- PROGRAM THE WORKS: SEQUENCE THE WORK, IDENTIFY CRITICAL PATHS OF ACTIVITY RELATED TO THE WORK ALLOWANCE FOR HOLIDAYS.
- PAYMENT OF THE WORKS: SUBMIT SCHEDULE OF ANTICIPATED PROGRESS CLAIMS. PROGRESS CLAIM TO BREAK-DOWN AMOUNTS CLAIMED FOR EACH TRADE AND ACTIVITY.
- FINAL CLEANING: BEFORE PRACTICAL COMPLETION CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW REMOVING DEBRIS FROM ROOF, DOWNPIPES, GUTTERS, AND SITE. REMOVE WASTE AND SURPLUS MATERIALS. REMOVE NON-INCORPORATED SAMPLES, PROTOTYPES, AND SAMPLE PANELS.

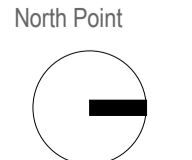
SITE PREPARATION

- EARTHWORK
EARTHWORK CARRIED OUT ADJACENT A VACANT OR OCCUPIED PROPERTY SHALL BE IN ACCORDANCE WITH 3.1.1 OF VOL. 2 OF THE N.C.C.
- FILL TO BE CARRIED OUT IN COMPLIANCE TO TABLE 3.1.1.1 AND THE CIVIL ENGINEER'S DOCUMENTS
- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3 STORM WATER DRAINAGE AND AS/NZS 3500.5 DOMESTIC INSTALLATIONS
- STORM WATER DISCHARGE TO BE DISCHARGED TO THE LEGAL POINT OF DISCHARGE COMPLIANT TO LOCAL AUTHORITY'S REQUIREMENTS.
- TERMITE RISK MANAGEMENT: REFER TO THE LOCAL AUTHORITY AND THE TOWN PLANNING PERMIT FOR TERMITE RISK MANAGEMENT AND INSTALL AS REQUIRED EITHER:
-PHYSICAL BARRIER : TO AS3660.1
-CHEMICAL BARRIER : IN ACCORDANCE WITH CLAUSE 3.1.3.0 OF VOL. 2 OF THE N.C.C AND THE MANUFACTURERS REQUIREMENTS

BELAIR AVENUE

BELAIR AVENUE

Rev	Description	Date
1	Issue for Building Permit	14.02.22
4	Issue in response to building surveyor checklist	23.06.22



Scale
A3 /
A1 As indicated

Drawn by
GM
Checked by
GM

Project Number
211636
Issue Date
FEB 2022

Drawing Number
A.100
Revision Issue
4

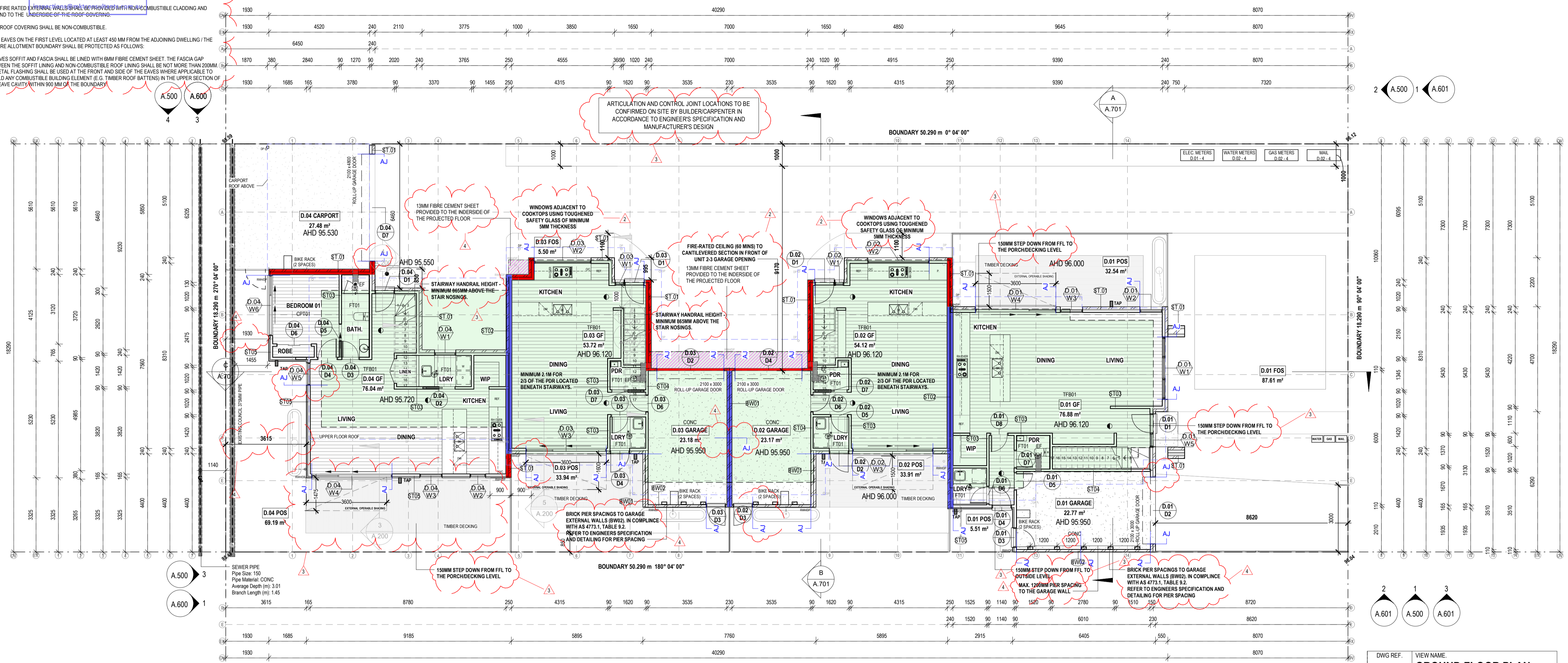


ENGINEERING NOTES

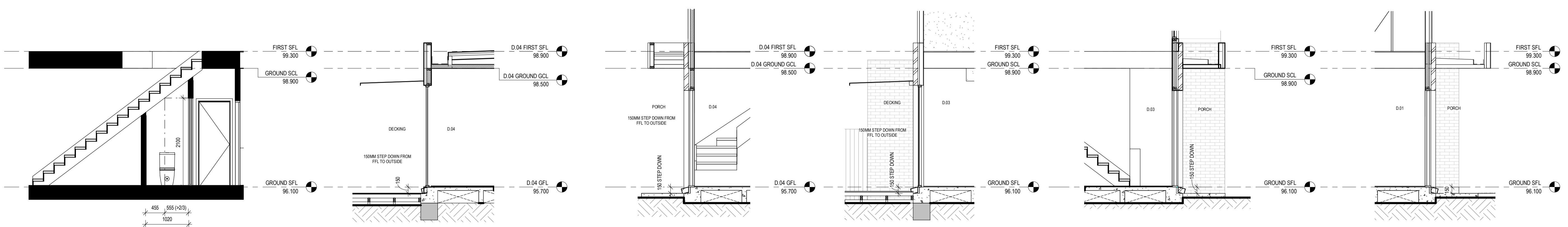
- SEPARATING WALL ACHIEVING AN FRL OF 60/60/60 TESTED FROM BOTH SIDES
 - EXTERNAL WALL ACHIEVING AN FRL OF 60/60/60 TESTED FROM OUTSIDE
 - A LAYER OF 13MM FIBRE CEMENT SHEET PROVIDED TO THE UNDERSIDE OF THE PROJECTED FLOOR
 - EAVES LOCATED AT LEAST 450MM FROM THE FUTURE BOUNDARY
- MKT & ASSOCIATES PTY LTD**
- ALL SEPARATING WALL BETWEEN DWELLINGS INCLUDING THOSE WALLS HIGHLIGHTED AS BLUE SHALL ACHIEVE AN FRL OF 60/60/60 TESTED FROM BOTH SIDES COMPLYING WITH CLAUSE 3.7.2.
- EXTERNAL WALLS HIGHLIGHTED AS RED SHALL ACHIEVE AN FRL OF 60/60/60 TESTED FROM OUTSIDE ONLY AND THE FIRE RATED EXTERNAL WALLS OF UNIT 3 SHALL ALLOW TO NOT COMMENCE FROM THE GROUND SLAB FOOTING. 9379 0009 OR 0402 619 929
- ALL FIRE RATED EXTERNAL WALLS SHALL BE PROVIDED WITH NON-COMBUSTIBLE CLADDING AND EXTEND TO THE UNDERSIDE OF THE ROOF-GOVERNING.
- ALL ROOF COVERING SHALL BE NON-COMBUSTIBLE.
- THE EAVES ON THE FIRST LEVEL LOCATED AT LEAST 450 MM FROM THE ADJOINING DWELLING / THE FUTURE ALLOTMENT BOUNDARY SHALL BE PROTECTED AS FOLLOWS:
- (i) EAVES SOFFIT AND FASCIA SHALL BE LINED WITH 6MM FIBRE CEMENT SHEET. THE FASCIA GAP BETWEEN THE SOFFIT LIVING AND NON-COMBUSTIBLE ROOF LIVING SHALL BE NOT MORE THAN 200MM.
- (ii) METAL FLASHING SHALL BE USED AT THE FRONT AND SIDE OF THE EAVES WHERE APPLICABLE TO SHIELD ANY COMBUSTIBLE BUILDING ELEMENT (E.G. TIMBER ROOF BATTENS) IN THE UPPER SECTION OF THE EAVE CAVITY WITHIN 500 MM OF THE BOUNDARY.

LEGEND - FLOOR PLAN

- AC EXTERNAL AIR-CONDITIONER CONDENSOR ON CONCRETE PLINTH
- AJ ARTICULATION JOINT (TBC ON SITE BY SUB CONTRACTOR)
- BAL 1 PROPOSED INTERNAL BALUSTRADE TO COMPLY WITH ALL RELEVANT NCC REQUIREMENTS
- BAL 2 PROPOSED EXTERNAL BALUSTRADE TO COMPLY WITH ALL RELEVANT NCC REQUIREMENTS
- BC BROOM CUPBOARD
- CTUB COOKTOP WITH UNDER BENCH OVEN, RANGEHOOD TO SUIT
- COL COLUMN LOCATION TO ENGINEERS DETAIL
- CP ALUMINIUM CAPPING
- CS CAVITY SLIDING DOOR
- DP DOWNPIPE - 100mmØ COLORBOND
- DW DISHWASHER SPACE
- FCL FINISHED CEILING LEVEL
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - SCREED TO FALL
- FD BALCONY FLOOR DRAIN CONNECTED TO DOWN PIPE
- GM GAS METER. PROVIDE 100mm MIN CLEARANCE TO ANY OPENINGS. 150mm MIN CLEARANCE TO WATER METERS. 50mm MIN CLEARANCE TO ANY ELECTRICAL EQUIPMENT. INSTALL IN ACCORDANCE WITH AS5601.
- HR HANDRAIL TO COMPLY WITH RELEVANT NCC REQUIREMENTS TO ONE SIDE OF STAIR ONLY
- HWS HOT WATER SYSTEM
- MB ELECTRICAL METER BOX
- OHC OVERHEAD CUPBOARD
- REF FRIDGE SPACE
- SB ELECTRICAL SWITCHBOARD
- SC 1.7mm PRIVACY SCREEN TO COMPLY WITH STANDARD 822
- SK KITCHEN SINK
- TR LAUNDRY TROUGH
- VB VANITY BASIN
- WC TOILET PAN
- WD WASTE DUCT. PROVIDE LAGGING TO ALL PIPES WITHIN RISER
- WM WATER METER
- WWS WASHING MACHINE SPACE WITH DRIER SPACE ABOVE.
- 250mm DIA EXHAUST FAN DUCTED DIRECTLY TO OUTSIDE AIR - 25% FOR BATHROOMS AND SANITARY COMPARTMENTS - 40% FOR KITCHENS AND LAUNDRIES
- SELF CONTAINED CEILING MOUNTED SMOKE ALARMS, CONNECTED TO MAINS POWER AND TO COMPLY WITH AS3786
- EXTERNAL LIGHTING
- HATCHED AREA DENOTES FLOOR LEVEL ABOVE
- HATCHED AREA DENOTES BALCONY ABOVE



DWG REF: 1
VIEW NAME: GROUND FLOOR PLAN
SCALE: 1:100



DWG REF: 2
VIEW NAME: PDR SECTION UNIT 2 & 3
SCALE: 1:50

DWG REF: 3
VIEW NAME: D.04 DECKING STEP DOWN
SCALE: 1:50

DWG REF: 4
VIEW NAME: D.04 PORCH STEP DOWN
SCALE: 1:50

DWG REF: 5
VIEW NAME: D.02 & D.03 DECKING STEP DOWN
SCALE: 1:50

DWG REF: 6
VIEW NAME: D.02 & D.03 PORCH STEP DOWN
SCALE: 1:50

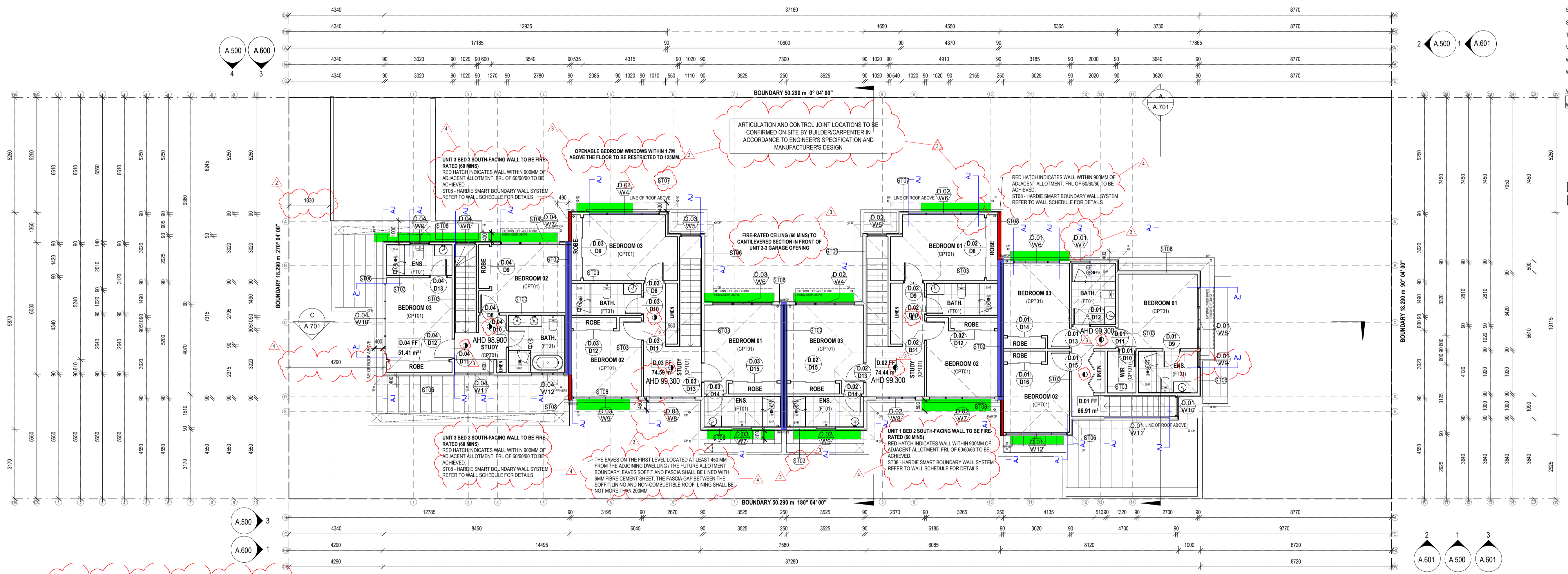
DWG REF: 7
VIEW NAME: D.01 PORCH STEP DOWN
SCALE: 1:50

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22
3	Issue in response to building surveyor	26.05.22
4	Issue in response to building surveyor checklist	23.06.22



LEGEND - FLOOR PLAN

- AC EXTERNAL AIR-CONDITIONER CONDENSOR ON CONCRETE PLINTH
- AJ ARTICULATION JOINT (TBC ON SITE BY SUB CONTRACTOR)
- BAL 1 PROPOSED INTERNAL BALUSTRADE TO COMPLY WITH ALL RELEVANT NCC REQUIREMENTS
- BAL 2 PROPOSED EXTERNAL BALUSTRADE TO COMPLY WITH ALL RELEVANT NCC REQUIREMENTS
- BC BROOM CUPBOARD
- CTUB COOKTOP WITH UNDER BENCH OVEN RANGEHOOD TO SUIT
- COL COLUMN LOCATION TO ENGINEERS DETAIL
- CP ALUMINIUM CAPPING
- CS CAVITY SLIDING DOOR
- DP DOWNPIPE - 100mm² COLORBOND
- DW DISHWASHER SPACE
- FCL FINISHED CEILING LEVEL
- FFL FINISHED FLOOR LEVEL
- FW FLOOR WASTE - SCREED TO FALL
- FD BALCONY FLOOR DRAIN CONNECTED TO DOWN PIPE
- GM GAS METER. PROVIDE 1000mm MIN CLEARANCE TO ANY OPENINGS. 150mm MIN CLEARANCE TO WATER METERS. 300mm MIN CLEARANCE TO ANY ELECTRICAL EQUIPMENT. INSTALL IN ACCORDANCE WITH AS5601.
- HR HANDRAIL TO COMPLY WITH RELEVANT NCC REQUIREMENTS TO ONE SIDE OF STAIR ONLY
- HWS HOT WATER SYSTEM
- MB ELECTRICAL METER BOX
- OHC OVERHEAD CUPBOARD
- REF FRIDGE SPACE
- SB ELECTRICAL SWITCHBOARD
- SC 1 1.7mm PRIVACY SCREEN TO COMPLY WITH STANDARD 822
- SK KITCHEN SINK
- TR LAUNDRY TROUGH
- VB VANITY BASIN
- WC TOILET PAN
- WD WASTE DUCT. PROVIDE LAGGING TO ALL PIPES WITHIN RISER
- WM WATER METER
- WMS WASHING MACHINE SPACE WITH DRIER SPACE ABOVE
- 250mm DIA EXHAUST FAN DUCTED DIRECTLY TO OUTSIDE AIR - 25% FOR BATHROOMS AND SANITARY COMPARTMENTS - 40% FOR KITCHENS AND LAUNDRIES
- SELF CONTAINED CEILING MOUNTED SMOKE ALARMS, CONNECTED TO MAINS POWER AND TO COMPLY WITH AS3786
- EXTERNAL LIGHTING
- HATCHED AREA DENOTES FLOOR LEVEL ABOVE
- HATCHED AREA DENOTES BALCONY ABOVE



FIRE ENGINEERING NOTES

- █ SEPARATING WALL ACHIEVING AN FRL OF 60/60/60 TESTED FROM BOTH SIDES
- █ EXTERNAL WALL ACHIEVING AN FRL OF 60/60/60 TESTED FROM OUTSIDE
- █ A LAYER OF 13MM FIBRE CEMENT SHEET PROVIDED TO THE UNDERSIDE OF THE PROJECTED FLOOR
- █ EAVES LOCATED AT LEAST 450MM FROM THE FUTURE BOUNDARY

- ALL SEPARATING WALL BETWEEN DWELLINGS INCLUDING THOSE WALLS HIGHLIGHTED AS BLUE SHALL ACHIEVE AN FRL OF 60/60/60 TESTED FROM BOTH SIDES COMPLYING WITH CLAUSE 3.7.2.2

- EXTERNAL WALL HIGHLIGHTED AS RED SHALL ACHIEVE AN FRL OF 60/60/60 TESTED FROM OUTSIDE ONLY AND THE FIRE RATED EXTERNAL WALL OF UNIT 3 IS ALLOWED TO NOT COMMENCE FROM THE GROUND SLAB / FOOTING.

- ALL FIRE RATED EXTERNAL WALLS SHALL BE PROVIDED WITH NON-COMBUSTIBLE CLADDING AND EXTEND TO THE UNDERSIDE OF THE ROOF COVERING.

- ALL ROOF COVERING SHALL BE NON-COMBUSTIBLE.

- THE EAVES ON THE FIRST LEVEL LOCATED AT LEAST 450MM FROM THE ADJOINING DWELLING / THE FUTURE ALLOTMENT BOUNDARY SHALL BE PROTECTED AS FOLLOWS:

(i) EAVES SOFFIT AND FASCIA SHALL BE LINED WITH 6MM FIBRE CEMENT SHEET. THE FASCIA GAP BETWEEN THE SOFFIT LING AND NON-COMBUSTIBLE ROOF LING SHALL BE NOT MORE THAN 200MM.

(ii) METAL FLASHING SHALL BE USED AT THE FRONT AND SIDE OF THE EAVES WHERE APPLICABLE TO SHIELD ANY COMBUSTIBLE BUILDING ELEMENT (E.G. TIMBER ROOF BATTENS) IN THE UPPER SECTION OF THE EAVE CAVITY WITHIN 900MM OF THE BOUNDARY.

DWG REF:	VIEW NAME:
1	FIRST FLOOR PLAN
DWG NUMBER:	SCALE:
A.200	1: 100

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22
3	Issue in response to building surveyor	26.05.22
4	Issue in response to building surveyor checklist	23.06.22



Scale
A3 / A1 As indicated

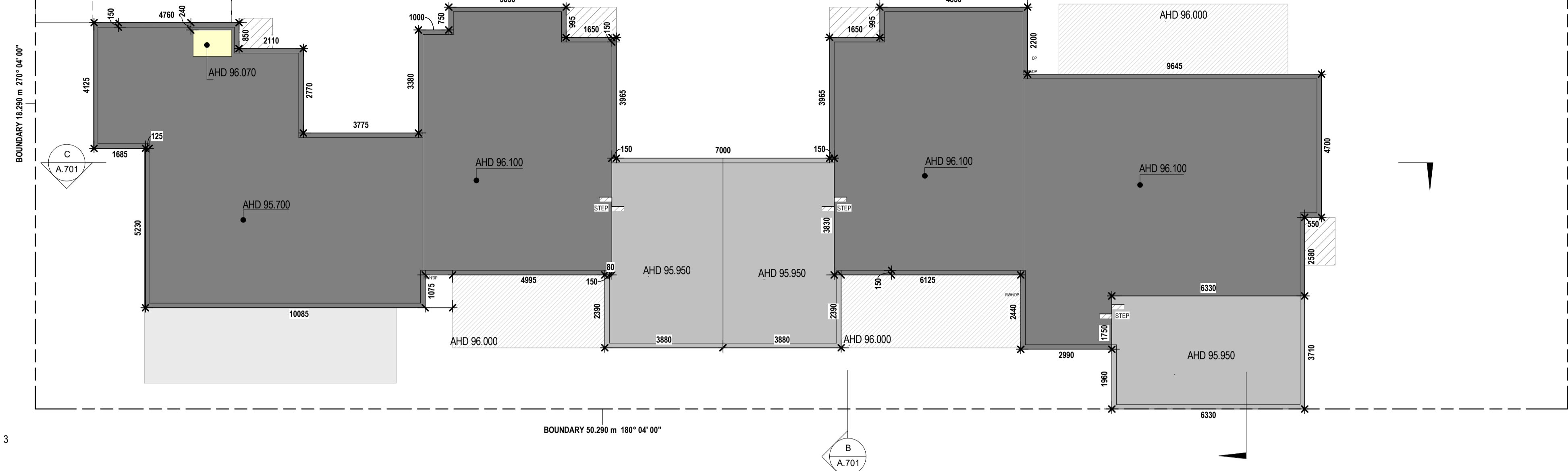
Drawn by
GM/AK
 Checked by
GM

Project Number
211636
 Issue Date
FEB 2022

Drawing Number
A.201
 Revision Issue
4



MKT & ASSOCIATES PTY LTD
 ISSUED 19/07/2022
 PERMIT NUMBER 8828501765036
 INSPECTION BOOKINGS
 089991
 PHONE 08 4402 619 929
 inspections@mktconsultants.com.au



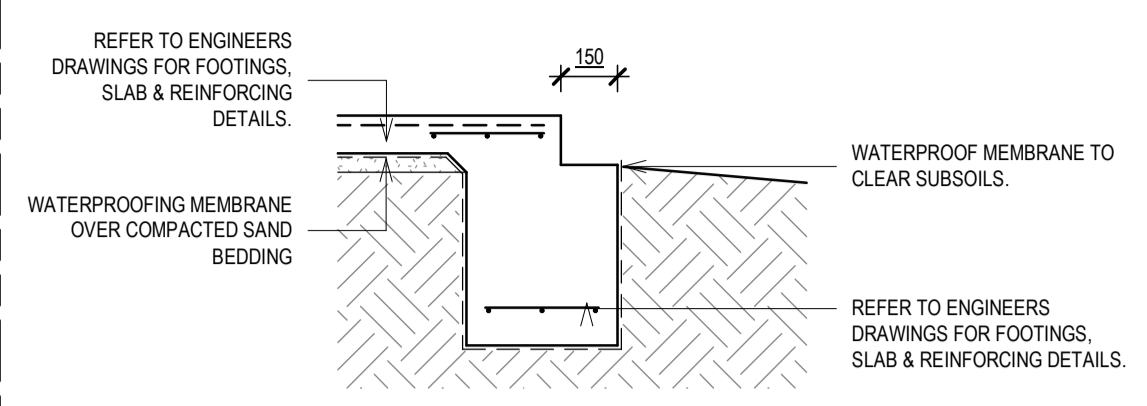
DWG REF. 1
 DWG NUMBER A.200
 VIEW NAME GROUND FLOOR PLAN
 SCALE 1:100

D.01 DOOR SCHEDULE									
MARK	LOCATION	TYPE	HEIGHT	DOOR WIDTH	THICKNESS	FRAME FINISH	LEAF FINISH	FRAME TYPE	DOOR HARDWARE
D.01 D1	ENTRY	Hinged	2340	820	35	Paint	Paint	Metal	Lock Set
D.01 D2	GARAGE	Roll-Up	2100	3000		Powdercoat	Powdercoat	Metal	Remote Control
D.01 D3	GARAGE REAR	Hinged	2400	820	35	Paint	Paint	Timber	Lock Set
D.01 D4	REAR ENTRY	Hinged	2400	820	35	Paint	Paint	Timber	Lock Set
D.01 D5	GARAGE-DWELLING DOOR	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.01 D6	LDRY	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.01 D7	PDR	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.01 D8	CLOAK DOOR	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.01 D9	FF BED 1 ENS.	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.01 D10	FF BED 1 WR	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.01 D11	FF BED 1	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.01 D12	FF BATH	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.01 D13	FF BED 3	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.01 D14	FF BED 3 ROBE	Sliding	2040	1500	30	Paint	Paint	Timber	Passage Set
D.01 D15	FF BED 2	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.01 D16	FF BED 2 ROBE	Sliding	2040	1500	30	Paint	Paint	Timber	Dummy Set

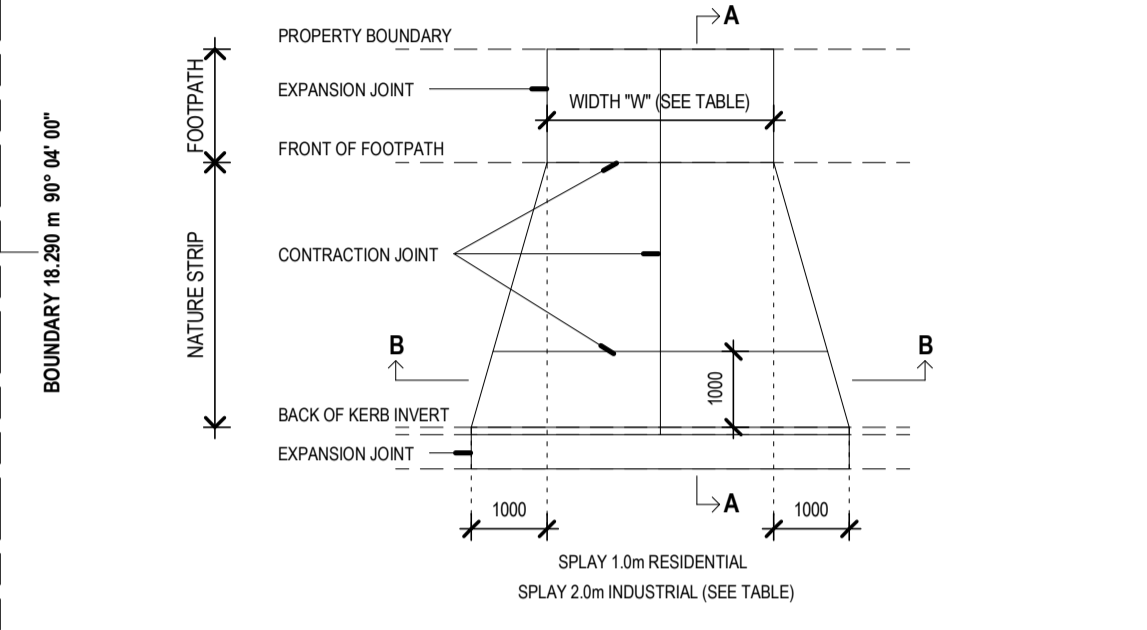
D.02 DOOR SCHEDULE									
MARK	LOCATION	TYPE	HEIGHT	DOOR WIDTH	THICKNESS	FRAME FINISH	LEAF FINISH	FRAME TYPE	DOOR HARDWARE
D.02 D1	ENTRY	Hinged	2340	820	35	Paint	Paint	Metal	Lock Set
D.02 D2	LDRY-OUTDOOR	Hinged	2400	820	35	Paint	Paint	Timber	Lock Set
D.02 D3	GARAGE REAR	Hinged	2400	820	35	Paint	Paint	Metal	Lock Set
D.02 D4	GARAGE	Roll-Up	2100	3000		Powdercoat	Powdercoat	Metal	Remote Control
D.02 D5	LDRY	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.02 D6	GARAGE-DWELLING	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.02 D7	PDR	Hinged	2040	720	40	Paint	Paint	Timber	Lock Set
D.02 D8	FF BED 1 ROBE	Sliding Panel	2040	2700	30	Paint	Paint	Timber	Dummy Set
D.02 D9	FF BED 1	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.02 D10	FF BATH	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.02 D11	FF BED 2	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.02 D12	FF BED 2 ROBE	Sliding Panel	2040	1800	30	Paint	Paint	Timber	Dummy Set
D.02 D13	FF BED 3	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.02 D14	FF BED 3 ENS.	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.02 D15	FF BED 3 ROBE	Sliding Panel	2040	2000	30	Paint	Paint	Timber	Dummy Set

D.03 DOOR SCHEDULE									
MARK	LOCATION	TYPE	HEIGHT	DOOR WIDTH	THICKNESS	FRAME FINISH	LEAF FINISH	FRAME TYPE	DOOR HARDWARE
D.03 D1	ENTRY	Hinged	2340	820	35	Paint	Paint	Timber	Lock Set
D.03 D2	GARAGE	Roll-Up	2100	3000		Powdercoat	Powdercoat	Metal	Remote Control
D.03 D3	GARAGE REAR	Hinged	2400	820	35	Paint	Paint	Metal	Lock Set
D.03 D4	LDRY-OUTDOOR	Hinged	2400	820	35	Paint	Paint	Timber	Lock Set
D.03 D5	LDRY	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.03 D6	GARAGE-DWELLING	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.03 D7	PDR	Sliding	2040	720	40	Paint	Paint	Timber	Lock Set
D.03 D8	FF BED 3	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.03 D9	FF BED 3 ROBE	Sliding Panel	2040	2700	30	Paint	Paint	Timber	Dummy Set
D.03 D10	FF BATH	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.03 D11	FF BED 2	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.03 D12	FF BED 2 ROBE	Sliding Panel	2040	1800	30	Paint	Paint	Timber	Dummy Set
D.03 D13	FF BED 1	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.03 D14	FF BED 3 ENS.	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set
D.03 D15	FF BED 3 ROBE	Sliding Panel	2040	2000	30	Paint	Paint	Timber	Dummy Set

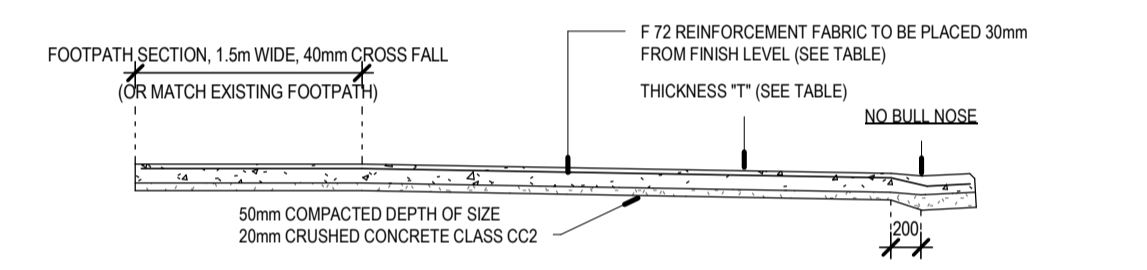
D.04 DOOR SCHEDULE									
MARK	LOCATION	TYPE	HEIGHT	DOOR WIDTH	THICKNESS	FRAME FINISH	LEAF FINISH	FRAME TYPE	DOOR HARDWARE
D.04 D1	ENTRY	Hinged	2340	820	35	Paint	Paint	Metal	Lock Set
D.04 D2	LDRY	Sliding	2040	720	40	Paint	Paint	Timber	Dummy Set
D.04 D3	GF BATH	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.04 D4	GF BED 1	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.04 D5	GF BED 1 BATH	Sliding	2040	720	35	Paint	Paint	Timber	Dummy Set
D.04 D6	GF BED 1 ROBE	Sliding	2040	1500	30	Paint	Paint	Timber	Dummy Set
D.04 D7	GARAGE	Roll-Up	2100	4800		Powdercoat	Powdercoat	Metal	Remote Control
D.04 D8	FF BED 2	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.04 D9	FF BED 9 ROBE	Sliding Panel	2040	1800	30	Paint	Paint	Timber	Dummy Set
D.04 D10	FF BATH	Hinged	2040	720	35	Paint	Paint	Timber	Lock Set
D.04 D11	FF BED 3	Hinged	2040	820	35	Paint	Paint	Timber	Passage Set
D.04 D12	FF BED 3 ROBE	Sliding Panel	2040	2700	30	Paint	Paint	Timber	Dummy Set
D.04 D13	FF BED 3 ENS.	Hinged	2040	720	35	Paint	Paint	Timber	Passage Set



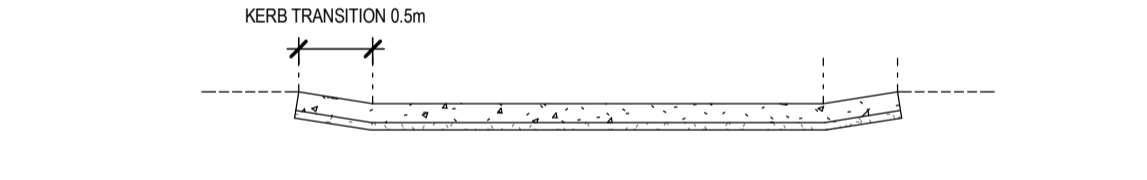
DWG REF. 2
 DWG NUMBER SP1
 VIEW NAME
 SCALE 1:20



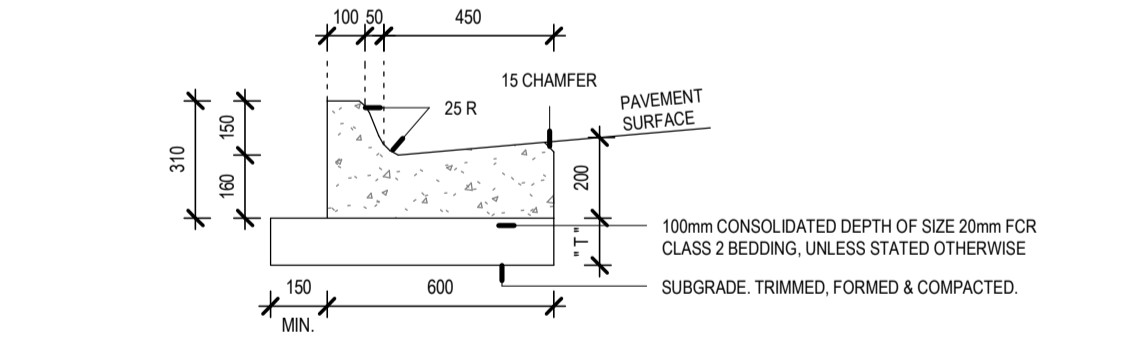
DWG REF. 3
 DWG NUMBER FOOTPATH
 VIEW NAME
 SCALE 1:100



DWG REF. 5
 DWG NUMBER SECTION A-A
 VIEW NAME
 SCALE 1:50



DWG REF. 6
 DWG NUMBER SECTION B-B
 VIEW NAME
 SCALE 1:50



DWG REF. 4
 DWG NUMBER KERB + CHANNEL
 VIEW NAME
 SCALE 1:20

SITE PREPARATION

- EARTHWORK
EARTHWORK CARRIED OUT ADJACENT A VACANT OR OCCUPIED PROPERTY SHALL BE IN ACCORDANCE WITH 3.1.1.1 OF VOL. 2 OF THE N.C.C.
- FILL TO BE CARRIED OUT IN COMPLIANCE TO TABLE 3.1.1.1 AND THE CIVIL ENGINEER'S DOCUMENTS
- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3 STORM WATER DRAINAGE AND AS/NZS 3500.5 DOMESTIC INSTALLATIONS
- STORM WATER DISCHARGE TO BE DISCHARGED TO THE LEGAL POINT OF DISCHARGE COMPLIANT TO LOCAL AUTHORITY'S REQUIREMENTS.
- TERMITE RISK MANAGEMENT: REFER TO THE LOCAL AUTHORITY AND THE TOWN PLANNING PERMIT FOR TERMITE RISK MANAGEMENT AND INSTALL AS REQUIRED EITHER:
-PHYSICAL BARRIER : TO AS3660.1
-CHEMICAL BARRIER : IN ACCORDANCE WITH CLAUSE 3.1.3.0 OF VOL. 2 OF THE N.C.C AND THE MANUFACTURER'S REQUIREMENTS

SETOUT NOTES

- SET-OUT PLAN TO BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S, LAND SURVEYOR'S DRAWING AND SOIL REPORT.
- STRUCTURAL SLAB TO COMPLY WITH AS3600.
- STRUCTURAL SLAB TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DRAWINGS.
- REFER TO CIVIL ENGINEER'S DRAWINGS TO CONFORM WITH SITE DRAINAGE GRADIENT AS DESIGN BY CIVIL ENGINEER'S. CUT AND FILL SITE GROUND WORKS AS REQUIRED.
- GRADE SOIL TO SLOP AWAY FROM SLAB TO PIT OR LEGAL POINT OF DISCHARGE AS REQUIRED.
- CONTRACTOR IS TO CONFIRM WITH ALL SITE DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. CONTRACTOR IS ADVISED TO SEEK ARCHITECT'S CLARIFICATION FOR ANY DIMENSIONS INFORMATION IF NOT SHOWN AND/OR CONTRADICTING. START OF WORKS MEANS TOTAL ACCEPTANCE OF EXISTING CONDITION/ DRAWING INFORMATION.
- SET-OUT PLAN DIMENSIONS ARE TAKEN TO FACE OF EXTERNAL WALL. CONTRACTOR SHALL ALLOW FOR ALL REBATES, SPOON DRAINS, ETC. AS REQUIRED.

LEGEND

- HATCH DENOTES EXTENTS OF GARAGE LEVEL CONCRETE SLAB
- HATCH DENOTES EXTENTS OF GROUND LEVEL CONCRETE SLAB
- HATCH DENOTES EXTENTS OF SLAB STEPDOWN FOR ALLOCATED WET AREAS
- DP DOWNPIPE LOCATION
- B/F/W BALCONY FLOOR WASTE DOWN PIPE LOCATION
- AJ ARTICULATION JOINT LOCATION
- STRIP DRAIN
- BORED PIERS - TO ENGINEERS DESIGN AND SPECIFICATIONS

CONTRACTOR TO CONFIRM (SFL) W/ SELECTED FLOOR FINISH MATERIAL & ALLOW ACCORDINGLY (WHERE SFL/TBC ARE SHOWN)

Rev	Description	Date
1	Issue for Building Permit	14.02.22



MKT ASSOCIATES PTY LTD
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMIT NUMBER 882850176/105
INSPECTION BOOKINGS
9379 0009 OR 0402 619 939
inspections@mktconsultants.com.au

2 A.500 1 A.601

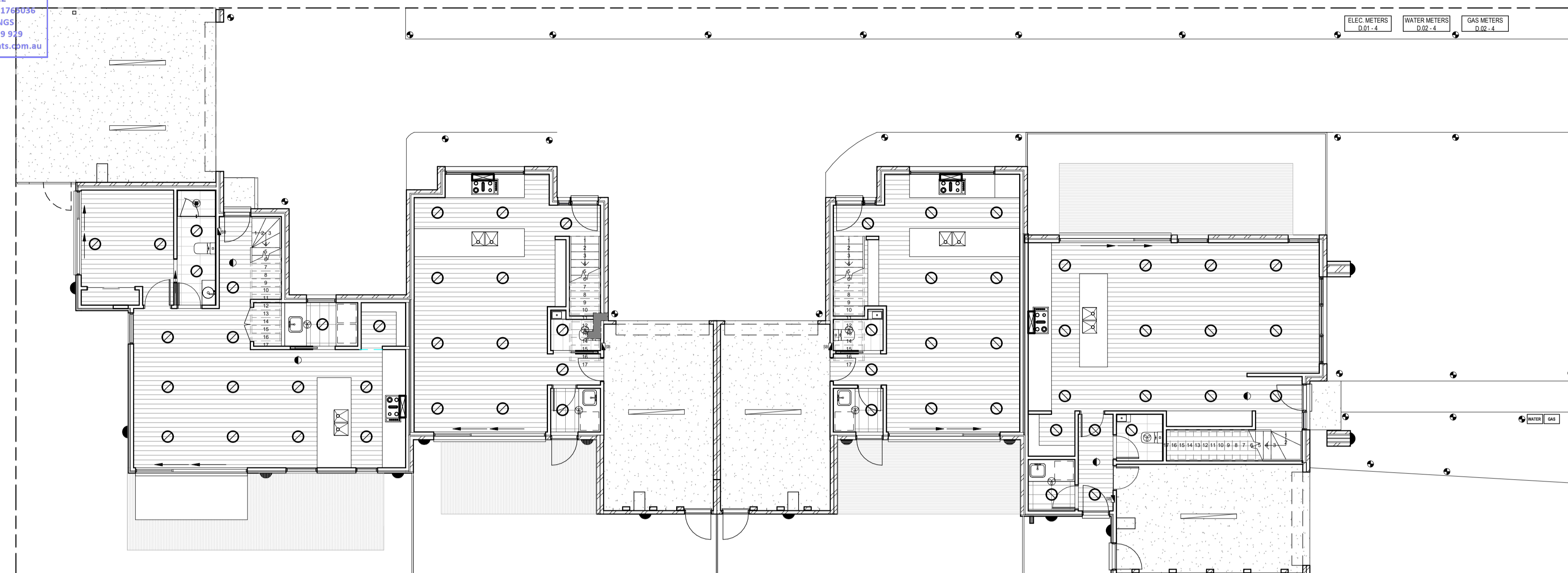
ELECTRICAL PLANS LEGEND

GENERAL ANNOTATIONS

- EXHAUST FAN - AIR 10M³/HR
- CONDUIT UNDER CSOG FOR SB
- LOW VOLTAGE DOWNLIGHT - 10 WATT MAX
- CEILING LIGHT POINT - 25 WATT MAX
- ELECTRICAL SWITCHBOARD - SEMI-RECESSED TO STUD WALLS
- MOTION SENSOR
- DATA POINT (DAP)
- TV POINT (TVP)
- POWERPOINT - SINGLE (SP)
GENERALLY 150MM ABOVE FFL OR BENCHTOP
POWERPOINT - DOUBLE (DP)
GENERALLY 150MM ABOVE FFL OR BENCHTOP
POWERPOINT - EXTERNAL DOUBLE (EDP)
(WEATHERPROOF), GENERALLY 300MM (HEIGHT)
- RISER
- SELF-CONTAINED SMOKE ALARM
- RANGEHOOD
- WALL MOUNTED LIGHT - 20 WATT MAX
- FLUORESCENT LIGHT - 50 WATT MAX
- VIDEO INTERCOM
- EXTERNAL UPLIGHT
- EXTERNAL BOLLARD LIGHT
- PENDANT LIGHT

ELECTRICAL NOTES

- PROVIDE LIGHT AND POWER WITHIN ROOF SPACE NEAR ACCESS POINT FOR HEATER AND FUTURE COOLING UNIT. CONFIRM HEATER LOCATION.
- PROVIDE POWER FOR DUCTED VACUUM SYSTEM, INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE INSTALLATION OF ALARM UNIT AND SENSORS, INCLUDING POWER AND PHONE CONNECTION AT MAIN UNIT - LOCATION TO BE ADVISED BY CLIENT.
- PROVIDE SEPARATE CIRCUITS FOR KITCHEN APPLIANCES, HEATING AND COOLING UNITS, GARAGE POWER POINTS, POOL EQUIPMENT, OUTDOOR POWER POINTS, LIGHTING AND LAUNDRY.
- SUPPLY AND INSTALL TV ANTENNA TO MANUFACTURERS SPECIFICATION WITH CONNECTION TO ALL NOMINATED POINTS. INSURE POWER POINT AT EACH TV ANTENNA LOCATION.
- SUPPLY POWER POINT TO DISHWASHER LOCATION, COOKTOP, WALL OVEN, RANGEHOOD, FRIDGE RECESS, WASHING MACHINE AND APPLIANCE CUPBOARD LOCATIONS.
- PROVIDE POWER FOR HOT WATER SERVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE POWER FOR WATER TANK PUMP SYSTEMS AT TANK LOCATION.
- PROVIDE POWER TO THE GARAGE CEILING FOR AUTOMATIC DOOR UNIT AND ROOF TOP STORAGE AREA.
- PROVIDE POWER TO SPA BATH PUMP



DWG REF. 1
VIEW NAME: **GROUND FLOOR PLAN**
DWG NUMBER: A.200
SCALE: 1 : 100

2 A.601 1 A.500 3 A.601

LIGHT + VENTILATION

ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	49.43	4.94	2.47

WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
BEDROOM 01	D.01 W8 5.9	1.8
BEDROOM 02	D.01 W12 2.0	1.0
BEDROOM 03	D.01 W6 1.5	0.7
Kitchen, Living & Dining	D.01 W2 2.1	0.8
	D.01 W1 5.9	1.4
	D.01 W3 2.1	0.8
	D.01 W4 8.6	5.8
	D.01 W5 1.4	0.0
	20.1	8.8

ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	41.47	4.15	2.07

WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
BEDROOM 01	D.02 W6 2.2	1.1
BEDROOM 02	D.02 W7 2.1	1.1
	D.03 W9 2.1	1.1
	4.2	2.1
BEDROOM 03	D.02 W3 3.8	1.3
	D.02 W4 1.9	0.6
	5.7	1.9
KITCHEN, LIVING & DINING	D.02 W2 2.5	2.5
	D.02 W3 8.6	5.8
	11.1	8.2
STUDY	D.02 W8 1.3	0.4
	1.3	0.4

ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	36.46	3.65	1.82

WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
BEDROOM 01	D.03 W5 3.8	1.3
	D.03 W6 1.9	0.6
	5.7	1.9
BEDROOM 03	D.03 W4 2.2	1.1
	2.2	1.1
KITCHEN, LIVING & DINING	D.03 W2 2.3	2.3
	D.03 W3 8.6	5.8
	10.9	8.1
STUDY	D.03 W8 1.5	0.7
	1.5	0.7

ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
BEDROOM 01	9.82	0.98	0.49
BEDROOM 02	10.99	1.10	0.55
BEDROOM 03	11.16	1.12	0.56
KITCHEN, LIVING & DINING	38.24	3.82	1.91
STUDY	3.85	0.39	0.19

WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)
BEDROOM 01	D.04 W6 6.5	3.3
	6.5	3.3
BEDROOM 02	D.04 W7 5.7	1.9
	5.7	1.9
BEDROOM 03	D.04 W10 2.2	1.1
	2.2	1.1
KITCHEN, LIVING & DINING	D.04 W2 1.5	0.6
	D.04 W3 2.1	0.8
	D.04 W4 8.6	5.8
	D.04 W5 2.1	0.8
	14.3	7.9
STUDY	D.04 W11 1.3	0.4
	1.3	0.4

POWER ILLUMINATION

POWER ILLUMINATION - D.01 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.01 GF	76.88	384.38	77	5	385.00
D.01 FF	66.91	334.54	67	5	335.00
		718.92	144		720.00

POWER ILLUMINATION - D.02 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.02 GF	54.12	270.58	54	5	270.00
D.02 FF	74.44	372.22	74	5	370.00
		642.81	128		640.00

POWER ILLUMINATION - D.03 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.03 GF	53.72	268.61	54	5	270.00
D.03 FF	74.59	372.95	75	5	375.00
		641.56	129		645.00

POWER ILLUMINATION - D.04 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.04 GF	76.04	380.20	76	5	380.00
D.04 FF	51.41	257.03	51	5	255.00
		637.23	127		635.00

POWER ILLUMINATION - D.01 - PORCH					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.01 PORCH	1.57	4.71	1	3	3.00
		4.71	1		3.00

POWER ILLUMINATION - D.02 - PORCH					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.02 PORCH	1.32	3.96	1	3	3.00
		3.96	1		3.00

POWER ILLUMINATION - D.03 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.03 PORCH	1.32	6.60	1	3	5.00
		6.60	1		5.00

POWER ILLUMINATION - D.04 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.04 PORCH	1.09	5.47	1	3	5.00
		5.47	1		5.00

POWER ILLUMINATION - D.01 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 4 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.01 GARAGE	22.77	91.10	18	4	72.00
		91.10	18		72.00

POWER ILLUMINATION - D.02 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 4 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.02 GARAGE	23.17	69.50	13	4	69.50
		69.50	13		69.50

POWER ILLUMINATION - D.03 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 4 (Watt)	NUMBER	OUTPUT (WATTS): 4 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.03 GARAGE	23.18	92.70	19	4	76.00
		92.70	19		76.00

POWER ILLUMINATION - D.03 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.03 PORCH	1.32	6.60	1	3	5.00
		6.60	1		5.00

Rev	Description	Date
1	Issue for Building Permit	14.02.22



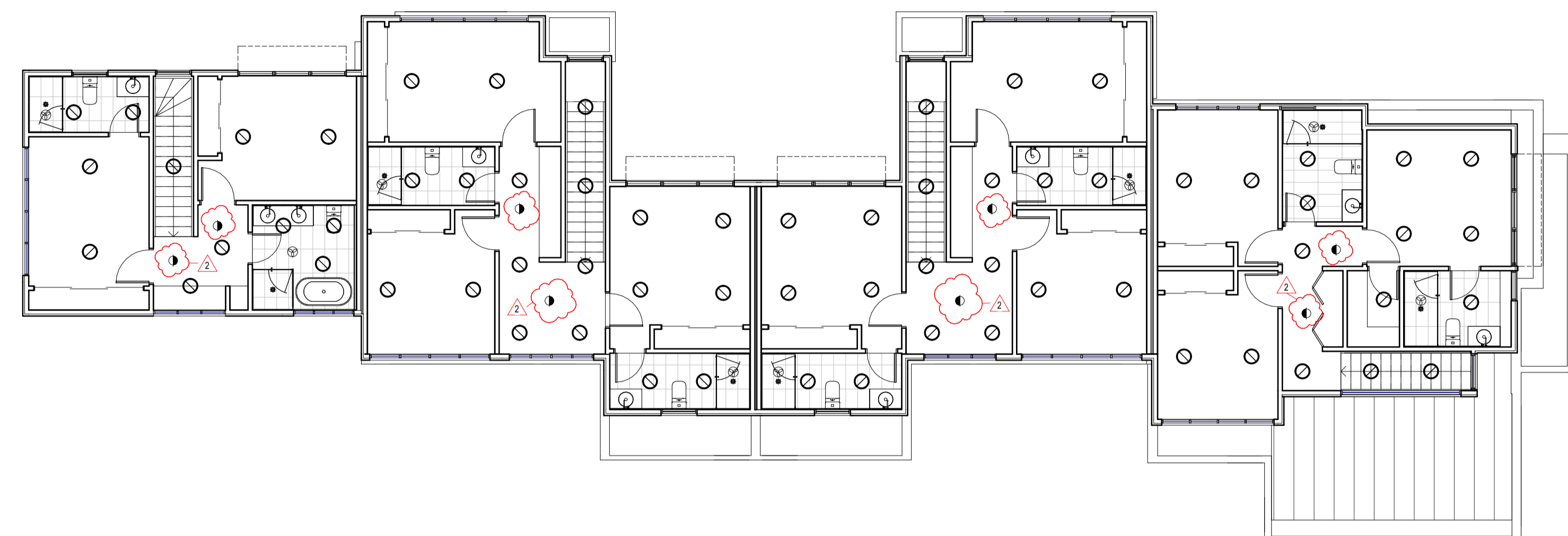
ELECTRICAL PLANS LEGEND

GENERAL ANNOTATIONS

- EXHAUST FAN - AIR 10M³/HR
- CONDUIT UNDER CSOG FOR SB
- LOW VOLTAGE DOWNLIGHT - 10 WATT MAX
- CEILING LIGHT POINT - 25 WATT MAX
- SB ELECTRICAL SWITCHBOARD - SEMI-RECESSED TO STUD WALLS
- MOTION SENSOR
- DATA POINT (DAP)
- TV POINT (TVP)
- POWERPOINT - SINGLE (SP)
GENERALLY 150MM ABOVE FFL OR BENCHTOP
POWERPOINT - DOUBLE (DP)
GENERALLY 150MM ABOVE FFL OR BENCHTOP
POWERPOINT - EXTERNAL DOUBLE (EDP)
(WEATHERPROOF), GENERALLY 200MM (HEIGHT)
- RISER
- SELF-CONTAINED SMOKE ALARM
- RANGEHOOD
- WALL MOUNTED LIGHT - 20 WATT MAX
- FLUORESCENT LIGHT - 50 WATT MAX
- VIDEO INTERCOM
- EXTERNAL UPLIGHT
- EXTERNAL BOLLARD LIGHT
- PENDANT LIGHT

ELECTRICAL NOTES

- PROVIDE LIGHT AND POWER WITHIN ROOF SPACE NEAR ACCESS POINT FOR HEATER AND FUTURE COOLING UNIT. CONFIRM HEATER LOCATION.
- PROVIDE POWER FOR DUCTED VACUUM SYSTEM, INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE INSTALLATION OF ALARM UNIT AND SENSORS, INCLUDING POWER AND PHONE CONNECTION AT MAIN UNIT - LOCATION TO BE ADVISED BY CLIENT.
- PROVIDE SEPARATE CIRCUITS FOR KITCHEN APPLIANCES, HEATING AND COOLING UNITS, GARAGE POWER POINTS, POOL EQUIPMENT, OUTDOOR POWER POINTS, LIGHTING AND LAUNDRY.
- SUPPLY AND INSTALL TV ANTENNA TO MANUFACTURERS SPECIFICATION WITH CONNECTION TO ALL NOMINATED POINTS. INSURE POWER POINT AT EACH TV ANTENNA LOCATION.
- SUPPLY POWER POINT TO DISHWASHER LOCATION, COOKTOP, WALL OVEN, RANGEHOOD, FRIDGE RECESS, WASHING MACHINE AND APPLIANCE CUPBOARD LOCATIONS.
- PROVIDE POWER FOR HOT WATER SERVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE POWER FOR WATER TANK PUMP SYSTEMS AT TANK LOCATION.
- PROVIDE POWER TO THE GARAGE CEILING FOR AUTOMATIC DOOR UNIT AND ROOF TOP STORAGE AREA.
- PROVIDE POWER TO SPA BATH PUMP



DWG REF. 1	VIEW NAME: FIRST FLOOR PLAN
DWG NUMBER: A.200	SCALE: 1 : 100

LIGHT + VENTILATION

LIGHT & VENTILATION REQUIRED - DWELLING 01			
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	49.43	4.94	2.47

LIGHT & VENTILATION PROVISION - DWELLING 01			
WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)	
BEDROOM 01	D.01 W8	5.9	1.8
		5.9	1.8
BEDROOM 02	D.01 W12	2.0	1.0
		2.0	1.0
BEDROOM 03	D.01 W6	1.5	0.7
		1.5	0.7
Kitchen, Living & Dining	D.01 W2	2.1	0.8
	D.01 W1	5.9	1.4
	D.01 W3	2.1	0.8
	D.01 W4	8.6	5.8
	D.01 W5	1.4	0.0
		20.1	8.8

LIGHT & VENTILATION REQUIRED - DWELLING 02			
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	41.47	4.15	2.07

LIGHT & VENTILATION PROVISION - DWELLING 02			
WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)	
BEDROOM 01	D.02 W6	2.2	1.1
		2.2	1.1
BEDROOM 02	D.02 W7	2.1	1.1
	D.03 W9	2.1	1.1
		4.2	2.1
BEDROOM 03	D.02 W3	3.8	1.3
	D.02 W4	1.9	0.6
		5.7	1.9
KITCHEN, LIVING & DINING	D.02 W2	2.5	2.5
	D.02 W3	8.6	5.8
		11.1	8.2
STUDY	D.03 W8	1.3	0.4
		1.3	0.4

LIGHT & VENTILATION REQUIRED - DWELLING 03			
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
KITCHEN, LIVING & DINING	36.46	3.65	1.82

LIGHT & VENTILATION PROVISION - DWELLING 03			
WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)	
BEDROOM 01	D.03 W5	3.8	1.3
	D.03 W6	1.9	0.6
		5.7	1.9
BEDROOM 03	D.03 W4	2.2	1.1
		2.2	1.1
KITCHEN, LIVING & DINING	D.03 W2	2.3	2.3
	D.03 W3	8.6	5.8
		10.9	8.1
STUDY	D.03 W8	1.5	0.7
		1.5	0.7

LIGHT & VENTILATION REQUIRED - DWELLING 04			
ROOM	AREA (m ²)	LIGHT REQUIRED (m ²)	VENTILATION REQUIRED (m ²)
BEDROOM 01	9.82	0.98	0.49
BEDROOM 02	10.99	1.10	0.55
BEDROOM 03	11.16	1.12	0.56
KITCHEN, LIVING & DINING	38.24	3.82	1.91
STUDY	3.85	0.39	0.19

LIGHT & VENTILATION PROVISION - DWELLING 04			
WINDOW MARK	LIGHT PROVIDED (m ²)	VENTILATION PROVIDED (m ²)	
BEDROOM 01	D.04 W6	6.5	4.3
		6.5	4.3
BEDROOM 02	D.04 W7	5.7	1.9
		5.7	1.9
BEDROOM 03	D.04 W10	2.2	1.1
		2.2	1.1
KITCHEN, LIVING & DINING	D.04 W2	1.5	0.6
	D.04 W3	2.1	0.8
	D.04 W4	8.6	5.8
	D.04 W5	2.1	0.8
		14.3	7.9
STUDY	D.04 W11	1.3	0.4
		1.3	0.4

POWER ILLUMINATION

POWER ILLUMINATION - D.01 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.01 GF	76.88	384.38	77	5	385.00
D.01 FF	66.91	334.54	67	5	335.00
		718.92	144		720.00

POWER ILLUMINATION - D.02 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.02 GF	54.12	270.58	54	5	270.00
D.02 FF	74.44	372.22	74	5	370.00
		642.81	128		640.00

POWER ILLUMINATION - D.03 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.03 GF	53.72	268.61	54	5	270.00
D.03 FF	74.59	372.95	75	5	375.00
		641.56	129		645.00

POWER ILLUMINATION - D.04 - INTERNAL					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 5 TYPE : DOWNLIGHT	TOTAL OUTPUT (Watts)
D.04 GF	76.04	380.20	76	5	380.00
D.04 FF	51.41	257.03	51	5	255.00
		637.23	127		635.00

POWER ILLUMINATION - D.01 - PORCH					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.01 PORCH	1.57	4.71	1	3	3.00
		4.71	1		3.00

POWER ILLUMINATION - D.02 - PORCH					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.02 PORCH	1.32	3.96	1	3	3.00
		3.96	1		3.00

POWER ILLUMINATION - D.03 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.03 PORCH	1.32	6.60	1	3	5.00
		6.60	1		5.00

POWER ILLUMINATION - D.04 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.04 PORCH	1.09	5.47	1	3	5.00
		5.47	1		5.00

POWER ILLUMINATION - D.01 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 4 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.01 GARAGE	22.77	91.10	18	4	72.00
		91.10	18		72.00

POWER ILLUMINATION - D.02 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 3 (Watt)	NUMBER	OUTPUT (WATTS): 4 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.02 GARAGE	23.17	69.50	13	4	69.50
		69.50	13		69.50

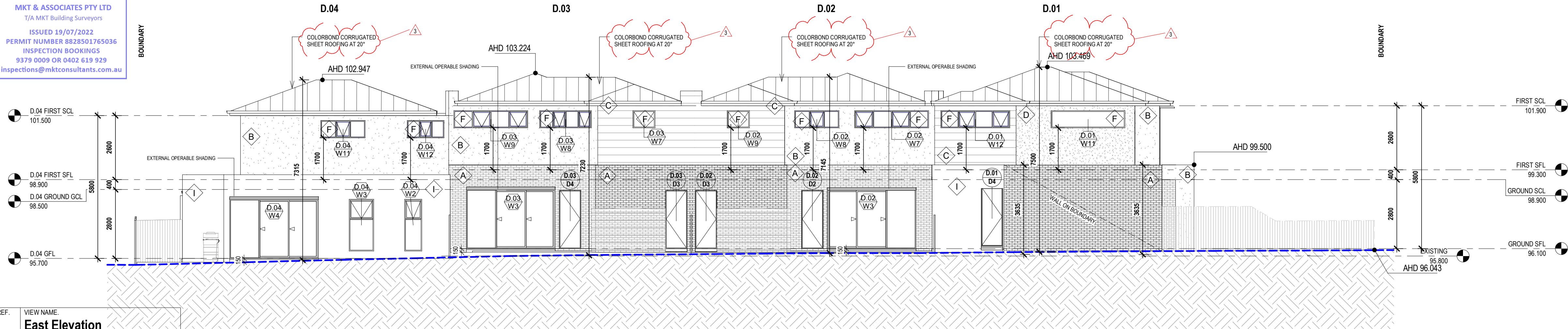
POWER ILLUMINATION - D.03 - GARAGE					
Name	Area	CONSUMPTION ALLOWED 4 (Watt)	NUMBER	OUTPUT (WATTS): 4 TYPE : FLUORESCENT	TOTAL OUTPUT (Watts)
D.03 GARAGE	23.18	92.70	19	4	76.00
		92.70	19		76.00

POWER ILLUMINATION - D.03 - PORCH					
Name	Area	CONSUMPTION ALLOWED 5 (Watt)	NUMBER	OUTPUT (WATTS): 3 TYPE : EX WALL LIGHT	TOTAL OUTPUT (Watts)
D.03 PORCH	1.32	6.60	1	3	5.00
		6.60	1		5.00

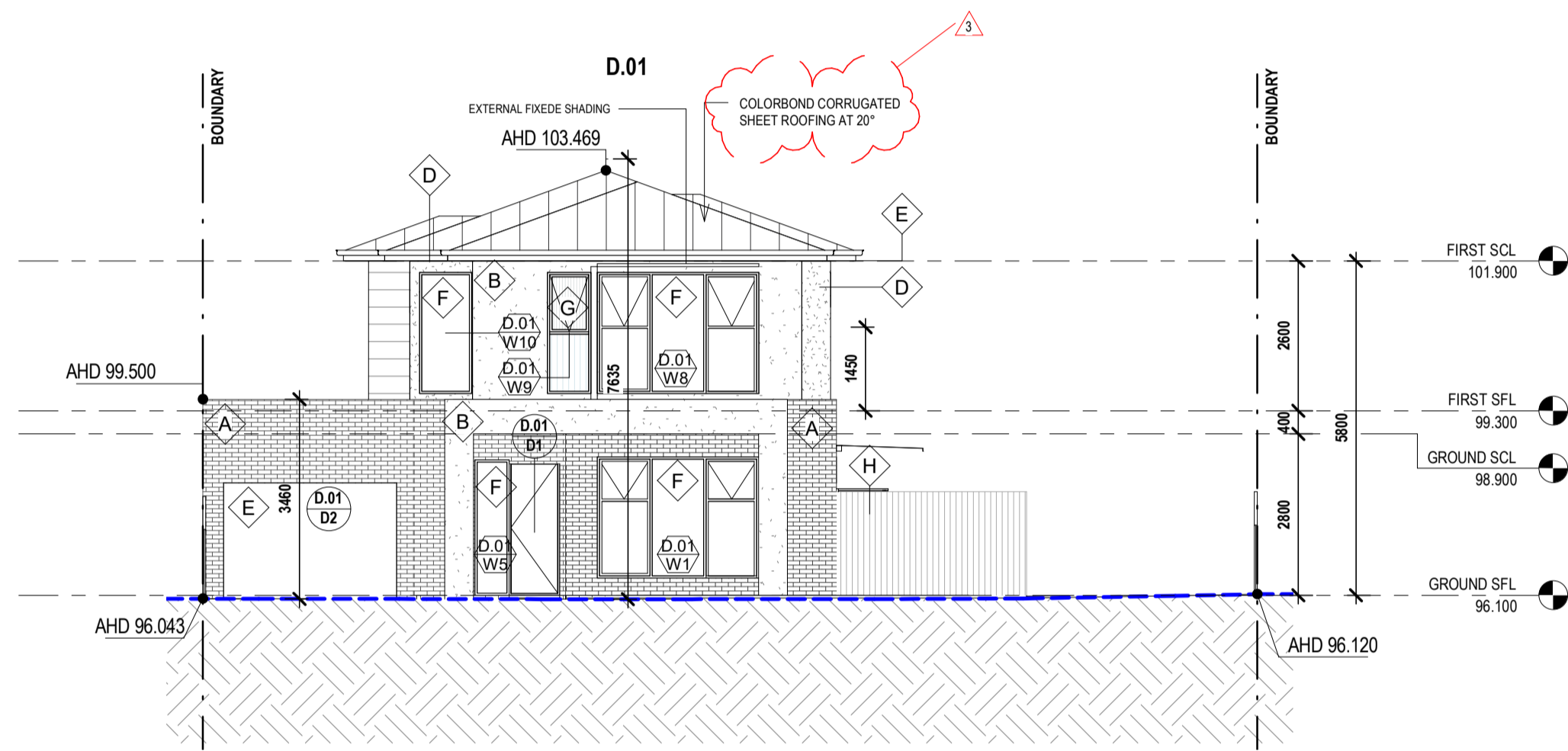
Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22



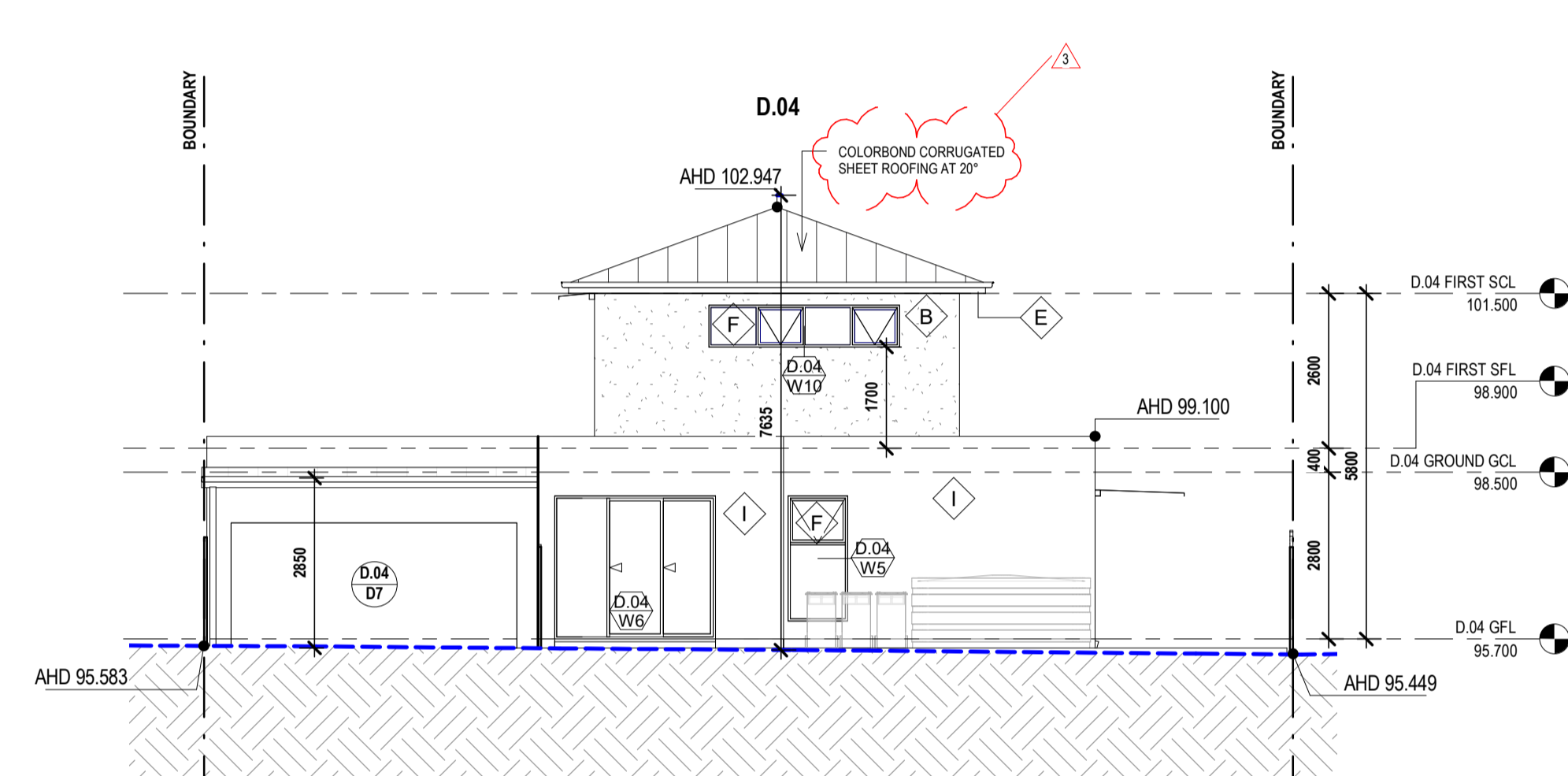
MKT & ASSOCIATES PTY LTD
 T/A MKT Building Surveyors
 ISSUED 19/07/2022
 PERMIT NUMBER 8828501765036
 INSPECTION BOOKINGS
 9379 0009 OR 0402 619 929
 inspections@mktconsultants.com.au



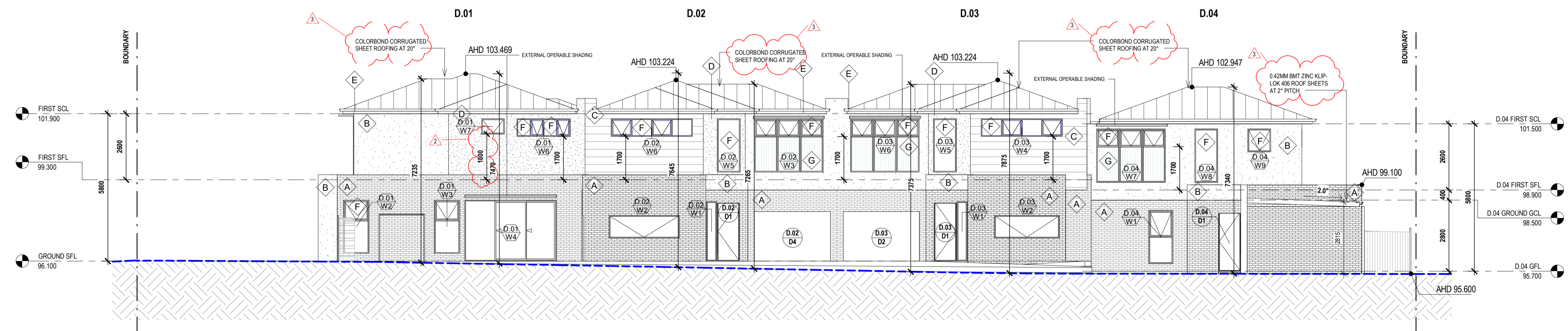
DWG REF.	VIEW NAME
1	East Elevation
DWG NUMBER	SCALE
A.100	1 : 100



DWG REF.	VIEW NAME
2	North Elevation
DWG NUMBER	SCALE
A.100	1 : 100



DWG REF.	VIEW NAME
3	South Elevation
DWG NUMBER	SCALE
A.100	1 : 100

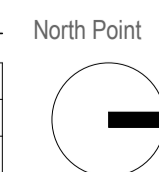


DWG REF.	VIEW NAME
4	West Elevation
DWG NUMBER	SCALE
A.100	1 : 100

- LEGEND MATERIAL PRODUCT COLOUR FINISH
- A SELECTED RECYCLED PRESSED BRICK - RED
- B SELECTED POLYSTYRENE PANEL - CEMENT RENDER FINISH - GREY
- C SELECTED HORIZONTAL CLADDING - JAMES HARDIE STRIA - 300MM - COLORBOND SURFMIST
- D SELECTED RENDER - COLORBOND MONUMENT
- E GARAGE DOOR, SCREENS, GUTTERS, & FASCIAS - COLORBOND MONUMENT PAINT
- F SELECTED ALUMINUM FRAMED GLAZING - PAINT - COLORBOND MONUMENT - POWDERCOAT - CLEAR
- G SELECTED ALUMINUM FRAMED GLAZING - PAINT - COLORBOND MONUMENT - POWDERCOAT - OBSCURE
- H SELECTED TIMBER PALING FENCE - NATURAL
- I SELECTED RENDERED NASAHU PANEL - PAINT - SURFMIST

NOTE:
 DOUBLE GLAZING (OR BETTER) TO BE USED TO ALL HABITABLE AREAS

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22
3	Issue in response to building surveyor	26.05.22



Scale
 A3 /
 A1 As indicated

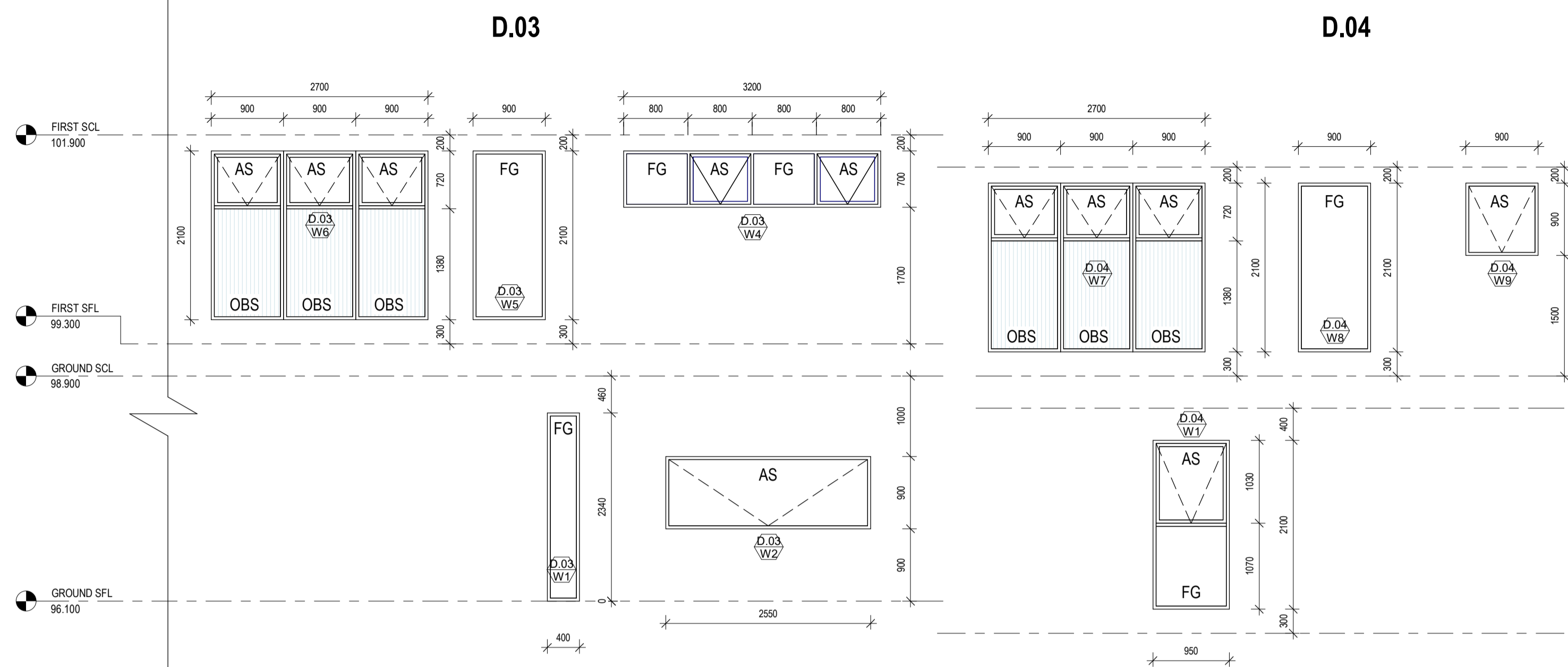
Drawn by
 GM
 Checked by
 GM

Project Number
 211636
 Issue Date
 FEB 2022

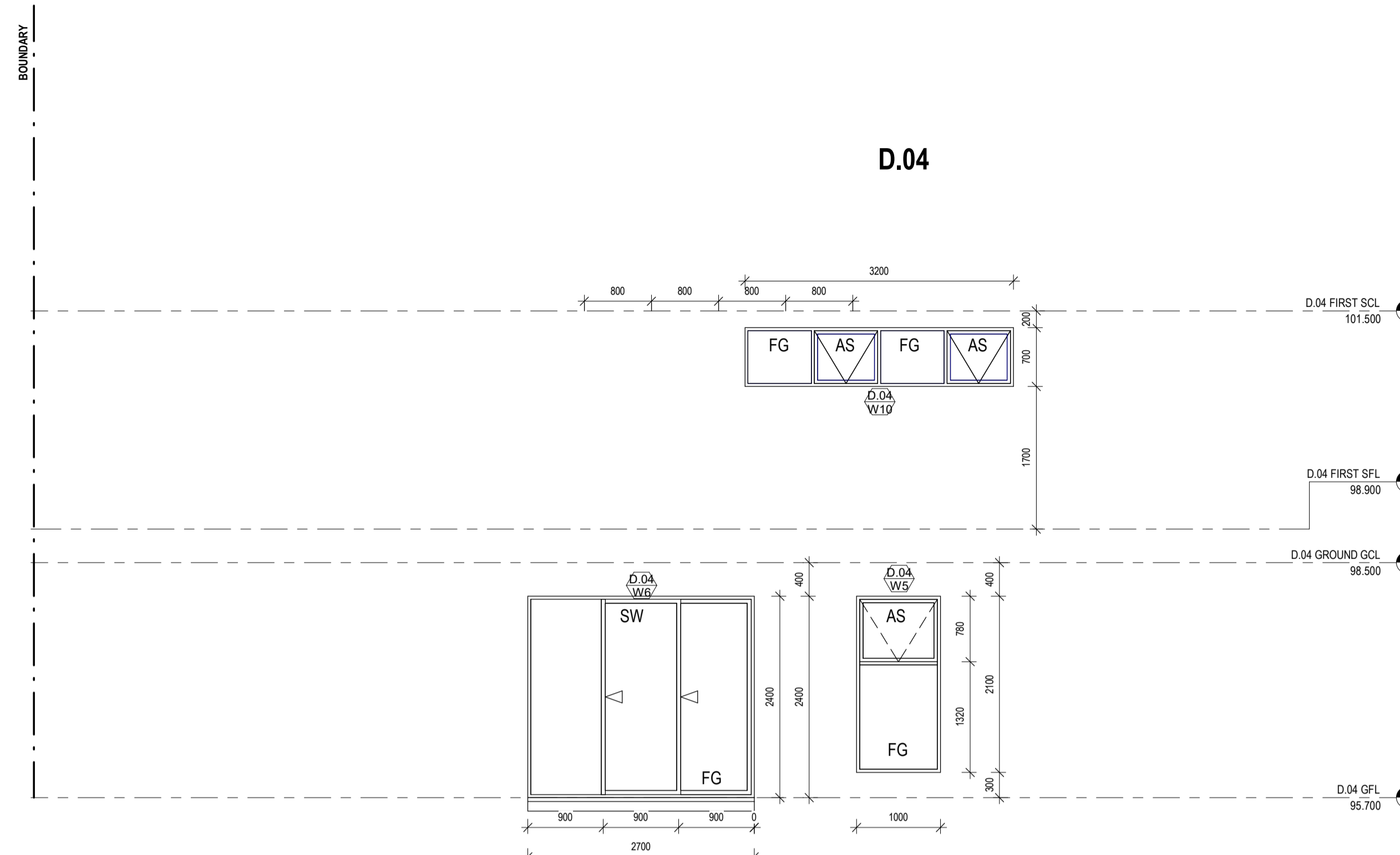
Drawing Number
A.500
 Revision Issue
 3



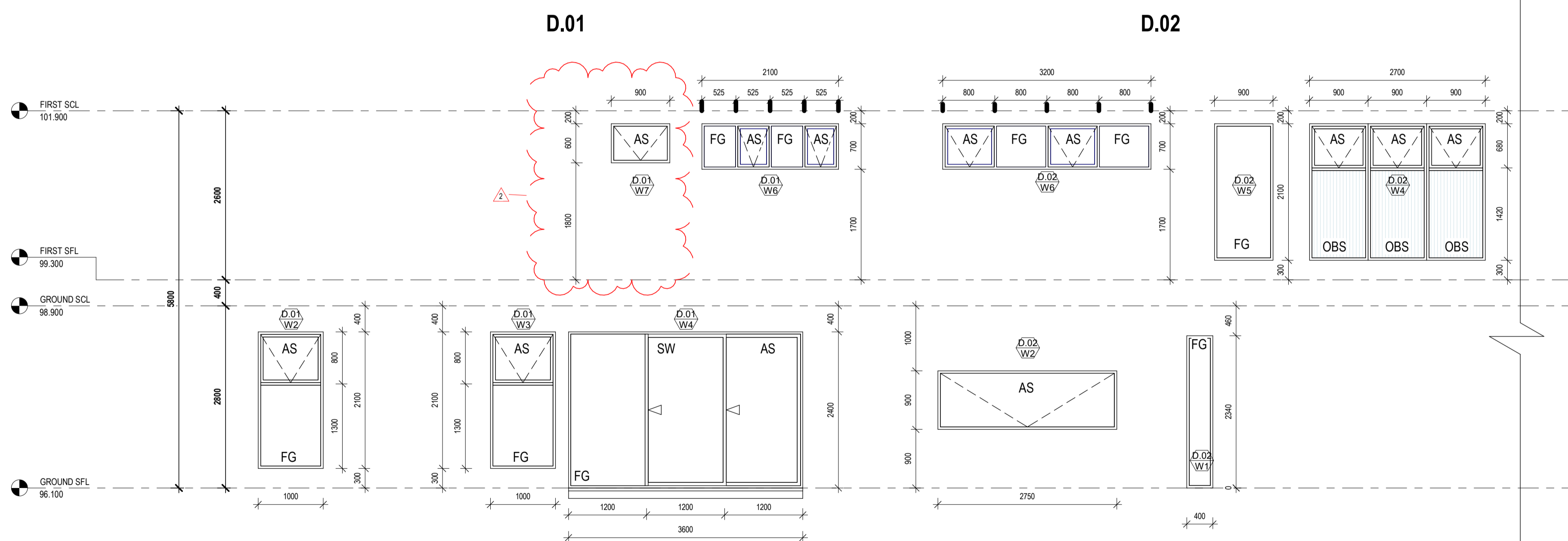
MKT & ASSOCIATES PTY LTD
 T/A MKT Building Surveyors
 ISSUED 19/07/2022
 PERMIT NUMBER 8828501765036
 INSPECTION BOOKINGS
 9379 0009 OR 0402 619 929
 inspections@mktconsultants.com.au



DWG REF.	VIEW NAME
3	West Elevation ws D03 - D04
DWG NUMBER	SCALE
A.100	1 : 50



DWG REF.	VIEW NAME
1	South Elevation ws
DWG NUMBER	SCALE
A.100	1 : 50



DWG REF.	VIEW NAME
2	West Elevation ws D01 - D02
DWG NUMBER	SCALE
A.100	1 : 50

LEGEND

LEVEL
 LEVEL
 WINDOW NUMBER
 TYPE REFER TO THERMAL SPECIFICATION TABLE BELOW

FRAMES

TYPE : TO BE CONFIRMED
 FT FINISH : TO BE CONFIRMED
 H WINDOW HEIGHT
 W WINDOW WIDTH
 HH WINDOW HEIGHT
 S WINDOW SILL
 EQ EQUAL
 CNP CORNER POST WITH ALUMINIUM COVER PLATE

NOTE

WINDOW OPENINGS TO BE CONSTRUCTED 20MM EITHER SIDE OF THE SPECIFIED WIDTH AND 20MM ABOVE AND BELOW THE SPECIFIED HEIGHT. FOR SLIDING DOORS THE 20MM OPENING IS TO BE EITHER SIDE OF THE SPECIFIED WIDTH AND ONLY ABOVE THE SPECIFIED HEIGHT.

NOTE

ALL WINDOW & GLAZING ELEMENTS TO ENSURE COMPLIANCE WITH PART 3.6 OF THE BCA, VOLUME 2. GRADE A TOUGHENED GLASS REQUIREMENTS WITHIN ALL BATHROOMS AND ENSUITES AS WELL AS ALL GLAZING TO COMPLY WITH AS 2047 & AS 1288.

WINDOW TYPE

AS AWNING SASH
 BD / BW BI-FOLD DOOR / BI-FOLD WINDOW
 CMT CASEMENT
 DH DOUBLE HUNG
 FG FIXED
 LV LOUVRE
 SD / SW SLIDING DOOR / SLIDING WINDOW

GLAZING

OBS OBTURATE
 IN THE ABSENCE OF A LABEL, CLEAR GLAZING IS IMPLIED (UNLESS STATED OTHERWISE)

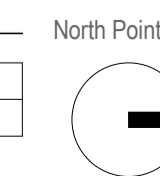
LIGHT AND VENTILATION

RM ROOM NAME
 FA FLOOR AREA (m²)
 LP LIGHT PROVIDED (m²)
 VP VENTILATION PROVIDED (m²)

ADDITIONAL NOTES

ALL WINDOWS TO HAVE PROVISION FOR, AND BE PROVIDED WITH FLYSCREENS.

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22



Scale
 A3 /
 A1 As indicated

Drawn by
 GM
 Checked by
 GM

Project Number
 211636
 Issue Date
 FEB 2022

Drawing Number
 A.600
 Revision Issue
 2

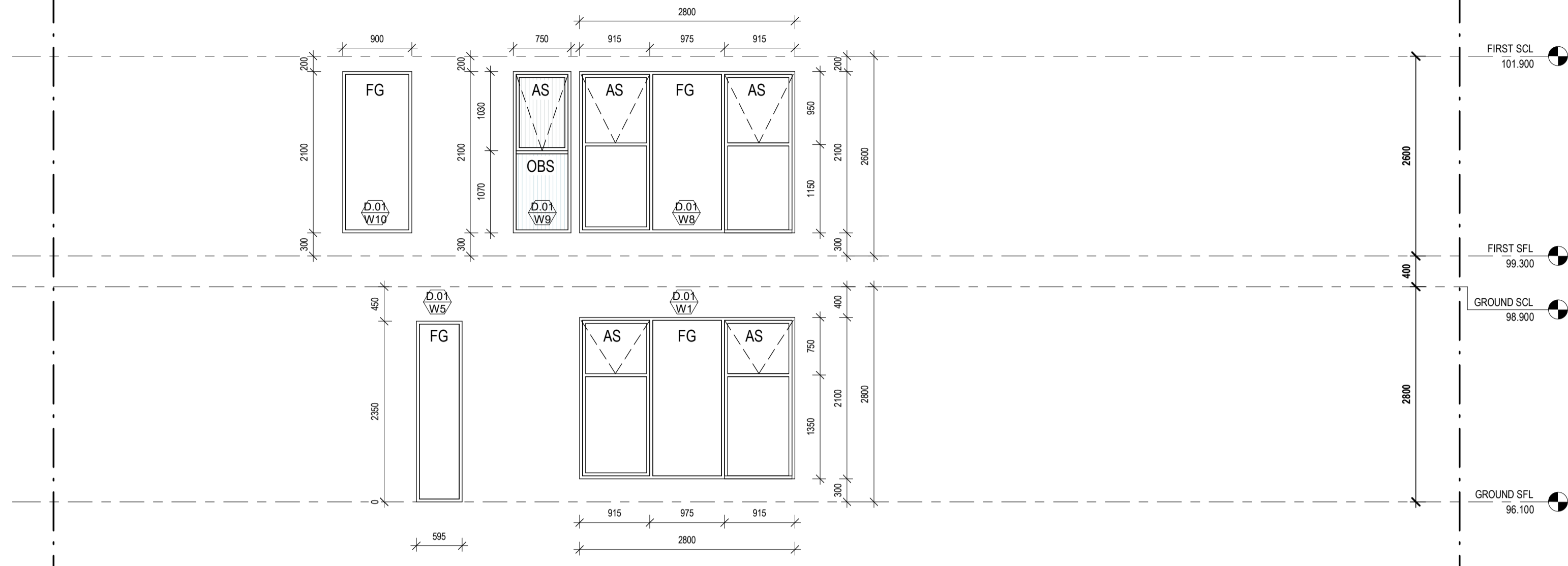
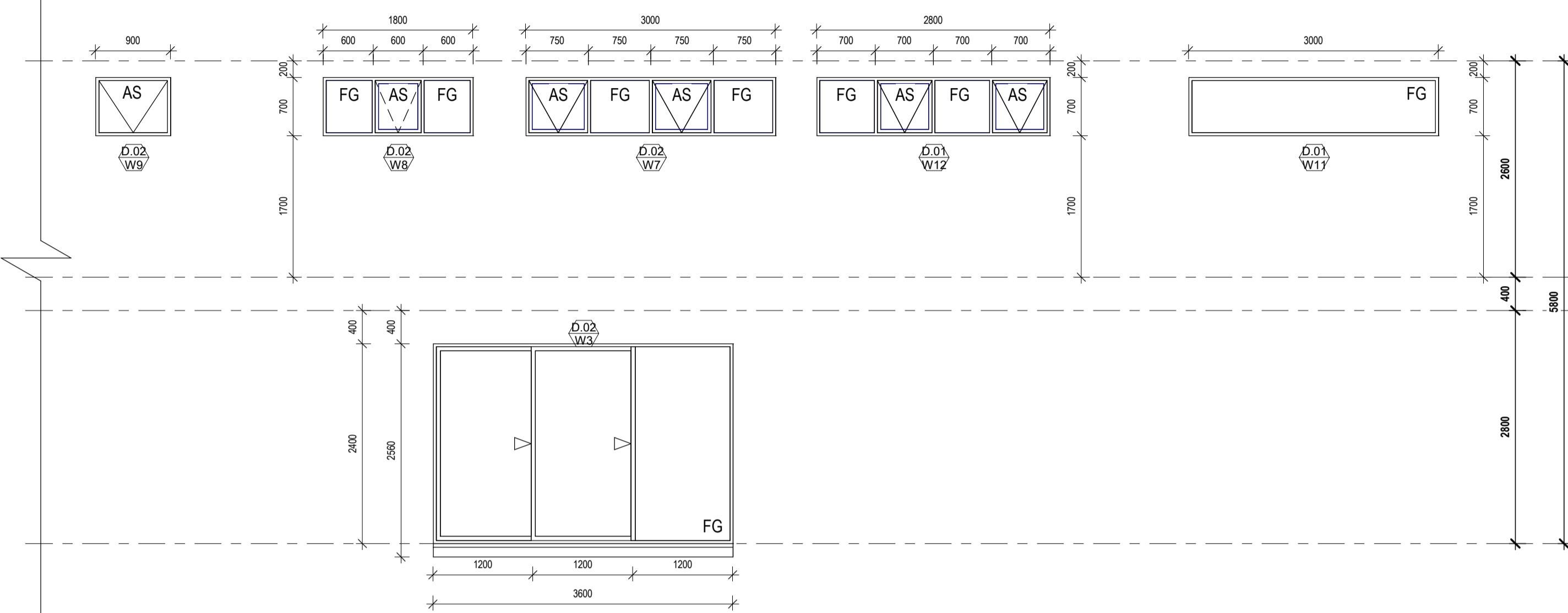


MKT & ASSOCIATES PTY LTD
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMIT NUMBER 8828501765036
INSPECTION BOOKINGS
9379 0009 OR 0402 619 929
inspections@mktconsultants.com.au

D.02

D.01

D.01

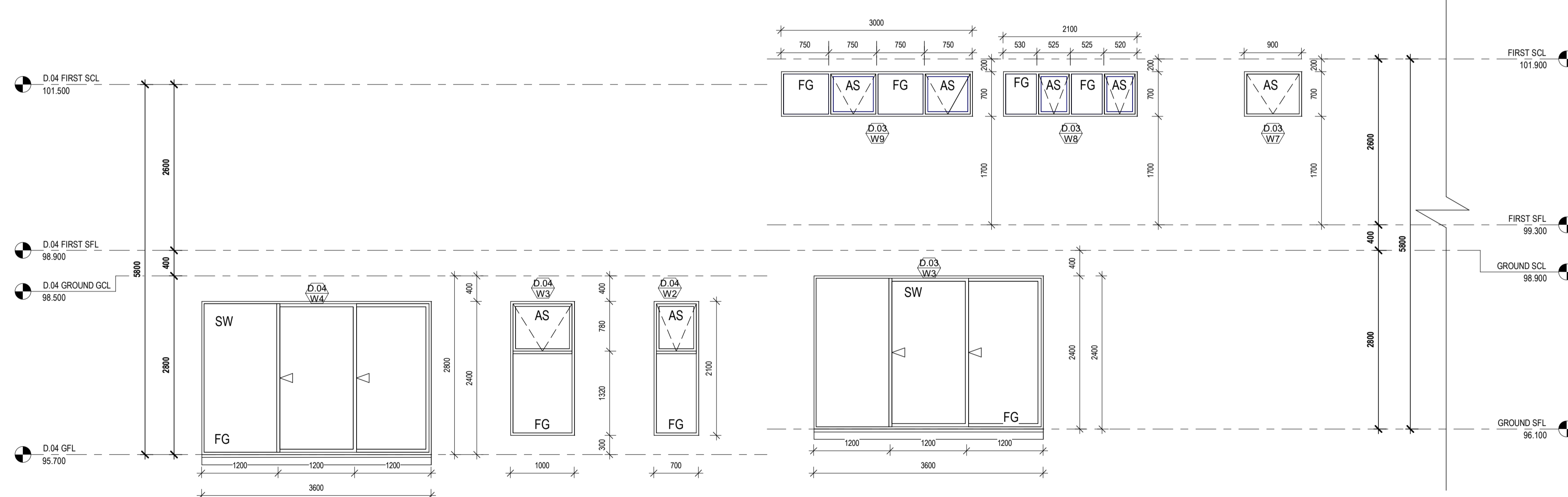


DWG REF.	VIEW NAME
2	East Elevation ws D01 - D02
DWG NUMBER	SCALE
A.100	1 : 50

DWG REF.	VIEW NAME
1	North Elevation ws
DWG NUMBER	SCALE
A.100	1 : 50

D.04

D.03



DWG REF.	VIEW NAME
3	East Elevation ws D03 - D04
DWG NUMBER	SCALE
A.100	1 : 50

LEGEND

LEVEL
UX
WX

WINDOW NUMBER
TYPE REFER TO THERMAL SPECIFICATION TABLE BELOW

FRAMES

FT TYPE : TO BE CONFIRMED
FF FINISH : TO BE CONFIRMED
H WINDOW HEIGHT
W WINDOW WIDTH
HH WINDOW HEIGHT
S WINDOW SILL
EQ EQUAL
CNP CORNER POST WITH ALUMINIUM COVER PLATE
NOTE WINDOW OPENINGS TO BE CONSTRUCTED 20MM EITHER SIDE OF THE SPECIFIED WIDTH AND 20MM ABOVE AND BELOW THE SPECIFIED HEIGHT. FOR SLIDING DOORS THE 20MM OPENING IS TO BE EITHER SIDE OF THE SPECIFIED WIDTH AND ONLY ABOVE THE SPECIFIED HEIGHT.

NOTE ALL WINDOW & GLAZING ELEMENTS TO ENSURE COMPLIANCE WITH PART 3.6 OF THE BCA VOLUME 2. GRADE A TOUGHENED GLASS REQUIREMENTS WITHIN ALL BATHROOMS AND ENSUITES AS WELL AS ALL GLAZING TO COMPLY WITH AS 2047 & AS 1288

WINDOW TYPE

AS AWNING SASH
BD / BW BI-FOLD DOOR / BI-FOLD WINDOW
CMT CASEMENT
DH DOUBLE HUNG
FG FIXED
LV LOUVRE
SD / SW SLIDING DOOR / SLIDING WINDOW

GLAZING

OBS OBTURATE

IN THE ABSENCE OF A LABEL, CLEAR GLAZING IS IMPLIED (UNLESS STATED OTHERWISE)

LIGHT AND VENTILATION

RM ROOM NAME
FA FLOOR AREA (m²)
LP LIGHT PROVIDED (m²)
VP VENTILATION PROVIDED (m²)

ADDITIONAL NOTES

ALL WINDOWS TO HAVE PROVISION FOR, AND BE PROVIDE WITH FLYSCREENS.

Rev	Description	Date
1	Issue for Building Permit	14.02.22



Scale
A3 /
A1 As indicated

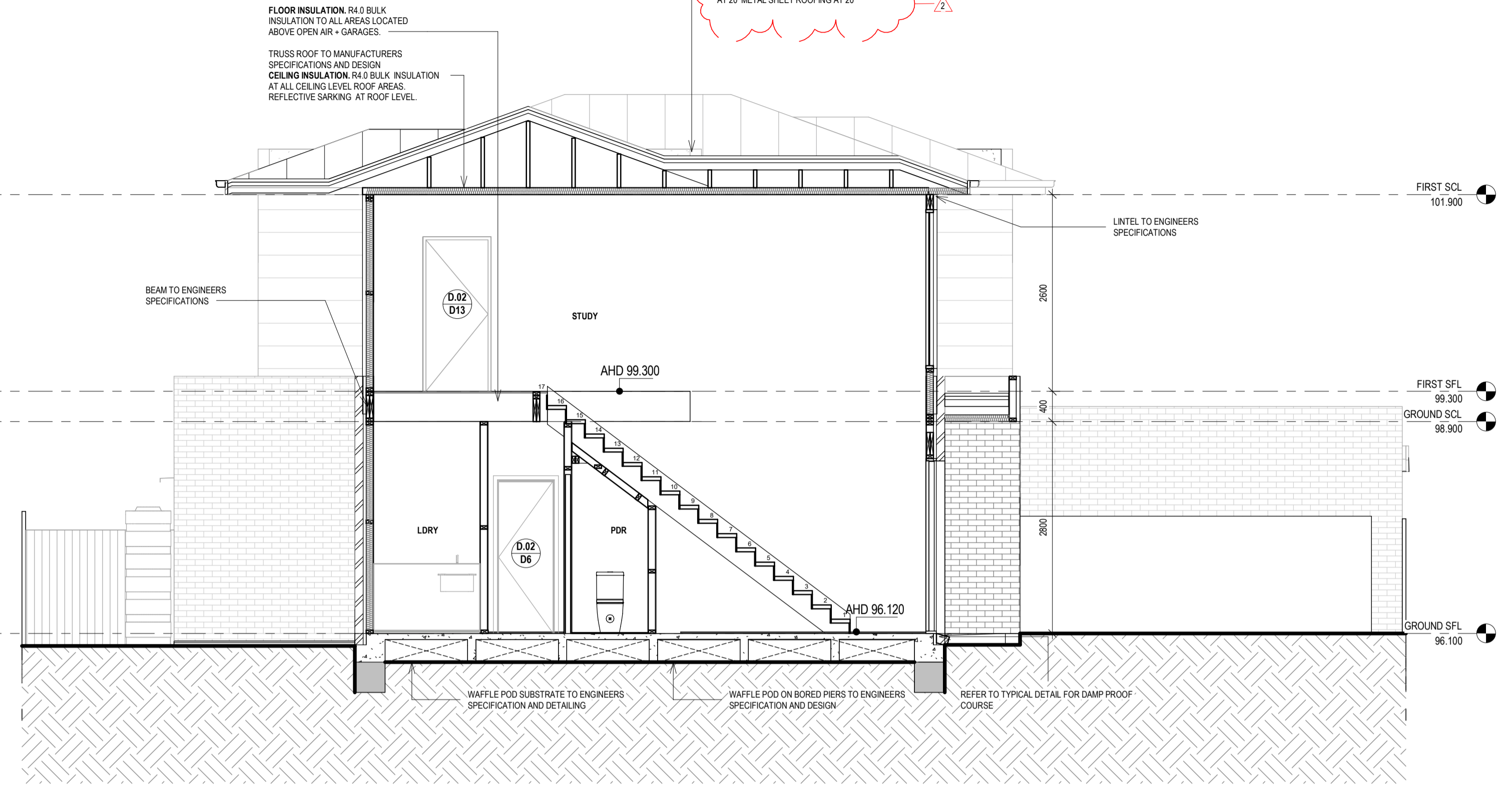
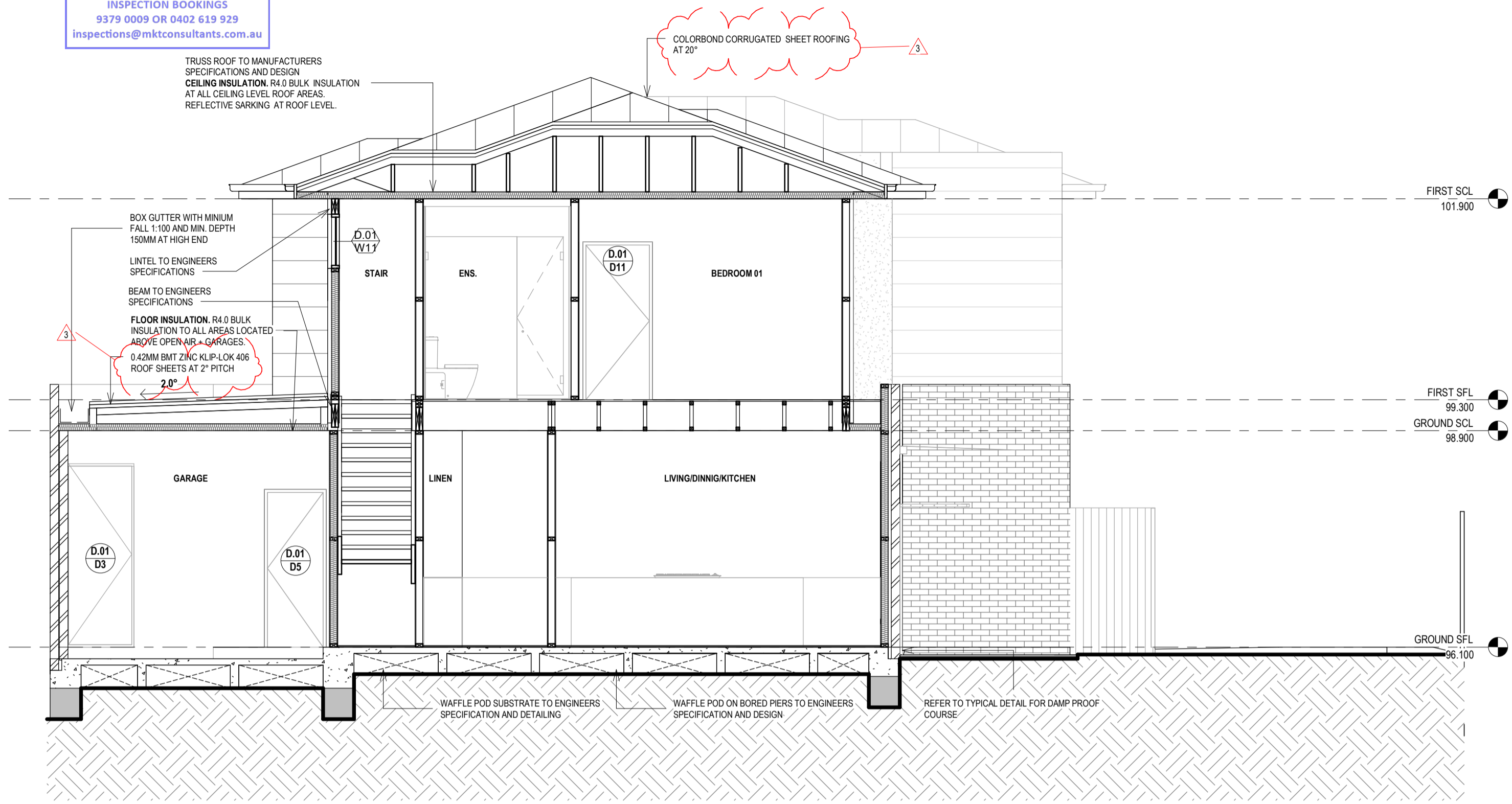
Drawn by
GM/AK
Checked by
GM

Project Number
211636
Issue Date
FEB 2022

Drawing Number
A.601
Revision Issue
1

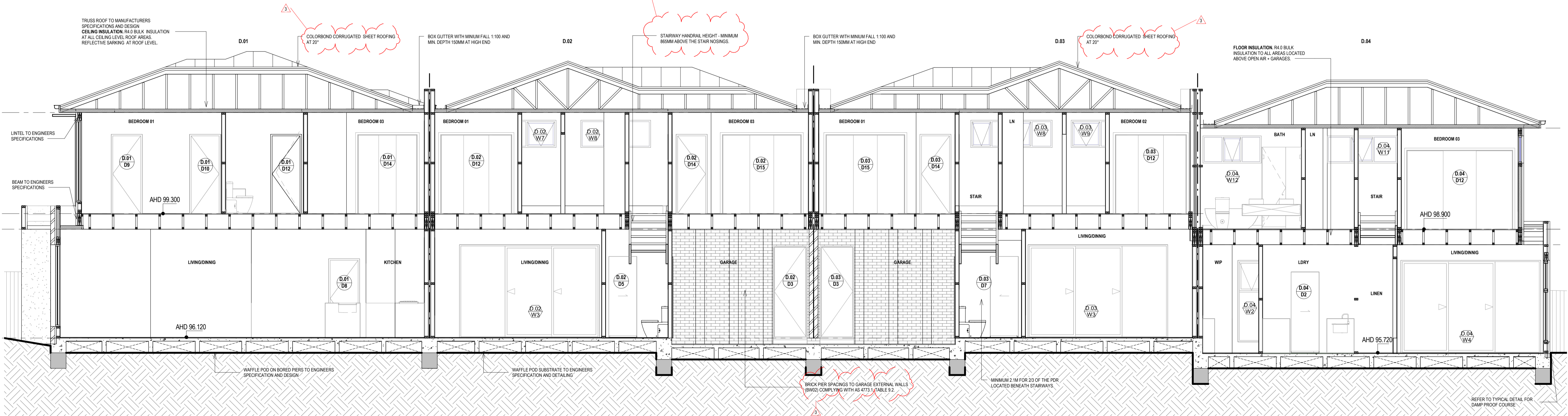


MKT & ASSOCIATES PTY LTD
 T/A MKT Building Surveyors
 ISSUED 19/07/2022
 PERMIT NUMBER 8828501765036
 INSPECTION BOOKINGS
 9379 0009 OR 0402 619 929
 inspections@mktconsultants.com.au



DWG REF.	VIEW NAME.
A	Section A-A
DWG NUMBER	SCALE.
A.200	1 : 50

DWG REF.	VIEW NAME.
B	Section B-B
DWG NUMBER	SCALE.
A.100	1 : 50



DWG REF.	VIEW NAME.
C	Section C-C
DWG NUMBER	SCALE.
A.100	1 : 50

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22
3	Issue in response to building surveyor	26.05.22



Scale
A3 / A1 / 1 : 50

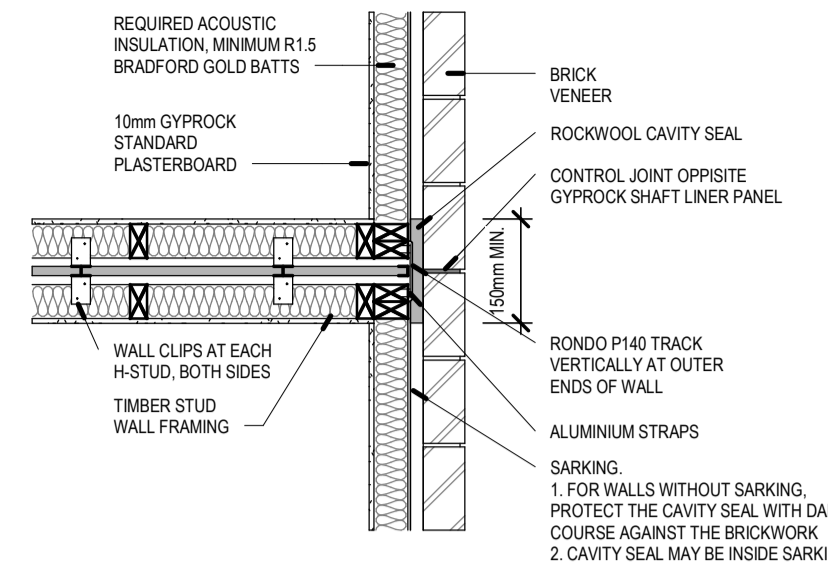
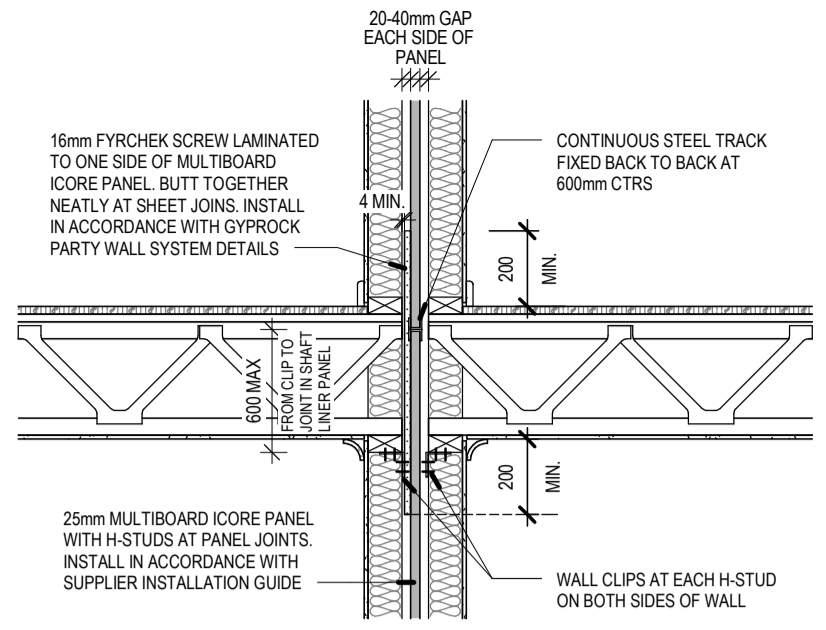
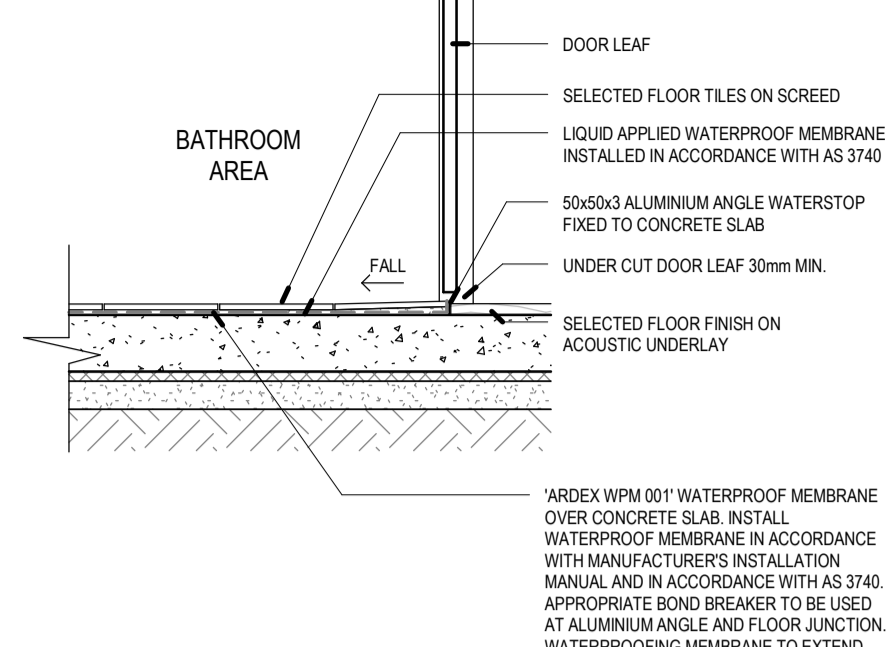
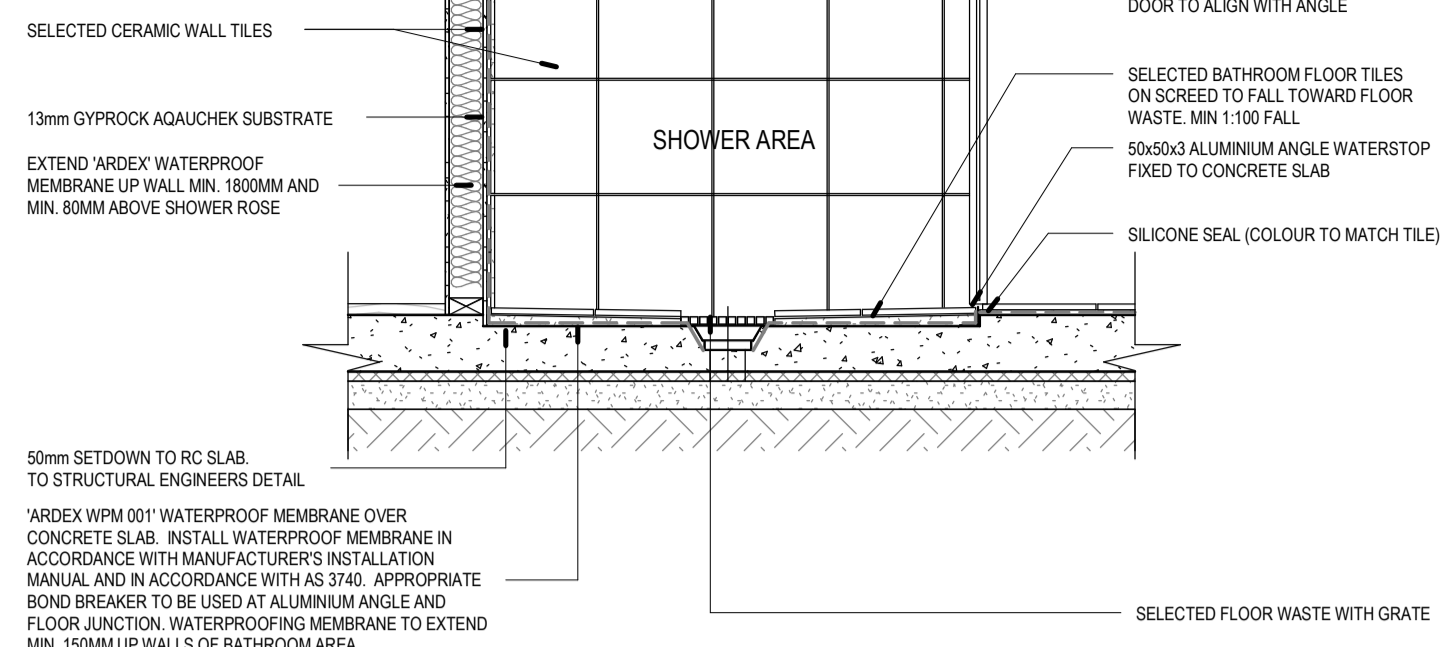
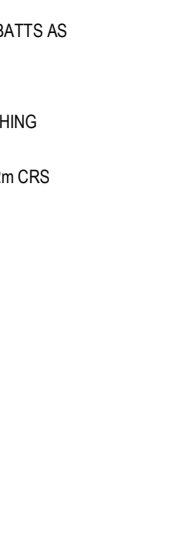
Drawn by
GM
 Checked by
GM

Project Number
211636
 Issue Date
FEB 2022

Drawing Number
A.701
 Revision Issue
3



MKT & ASSOCIATES PTY LTD
 58/111-113 Fitzroy Road
 240mm BRICK VENEER WALL
 ISSUED 19/07/2022
 PERMIT NUMBER 8828501765036
 INSPECTION BOOKINGS
 FLASHING TURNED UP MAX 120mm @ 90°
 Inspections@mktconsultants.com.au

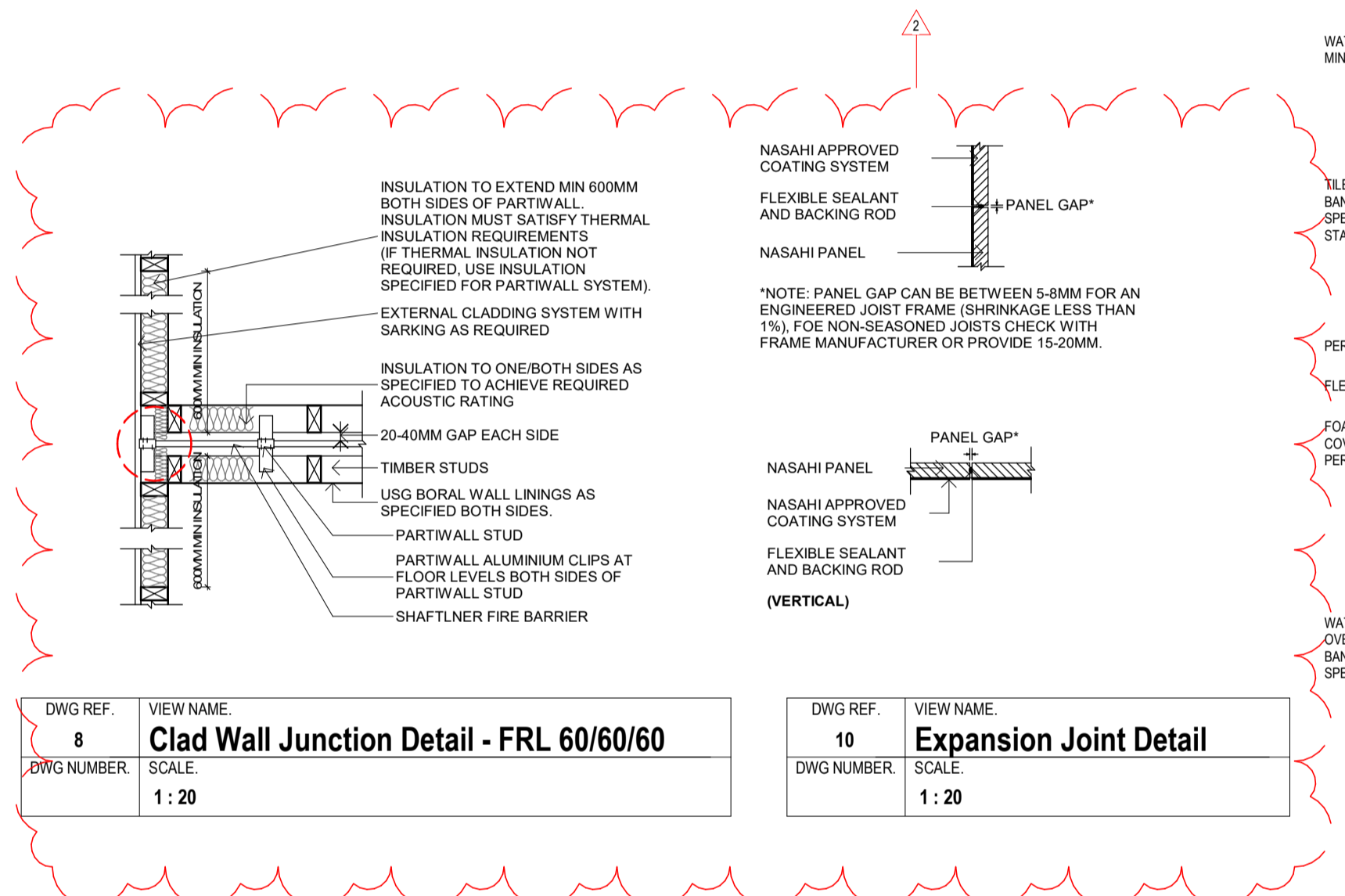


DWG REF: 3
 DWG NUMBER: 3
 VIEW NAME: Party Wall Section
 SCALE: 1:20

DWG REF: 4
 DWG NUMBER: 4
 VIEW NAME: Party Wall/Brick Veneer
 SCALE: 1:20

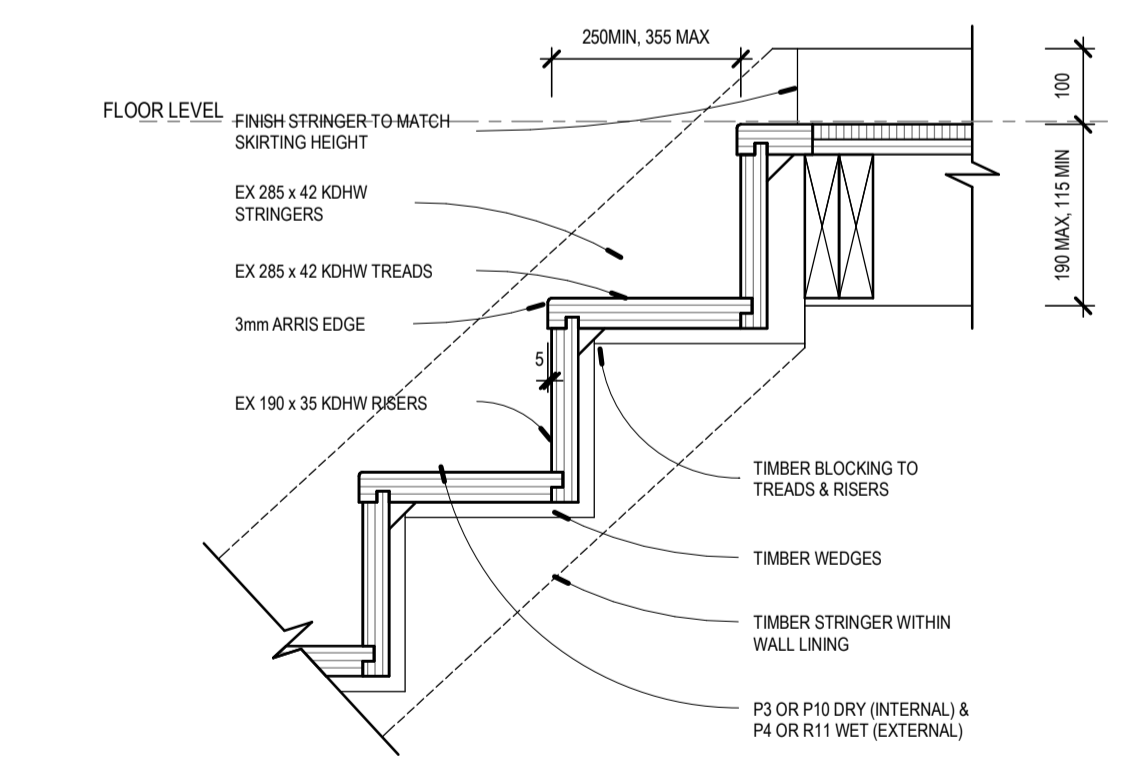
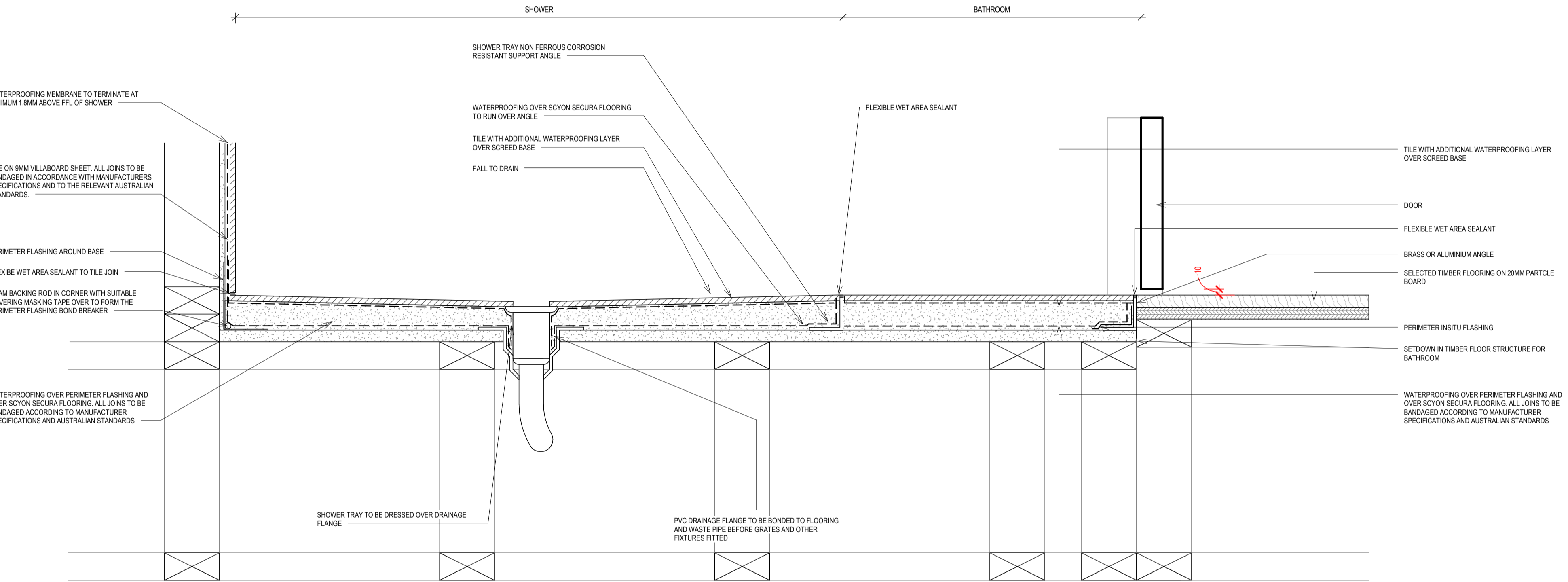
DWG REF: 1
 DWG NUMBER: 1
 VIEW NAME: Damp Proof Course
 SCALE: 1:20

DWG REF: 2
 DWG NUMBER: 2
 VIEW NAME: Ground Floor Wet Areas
 SCALE: 1:20

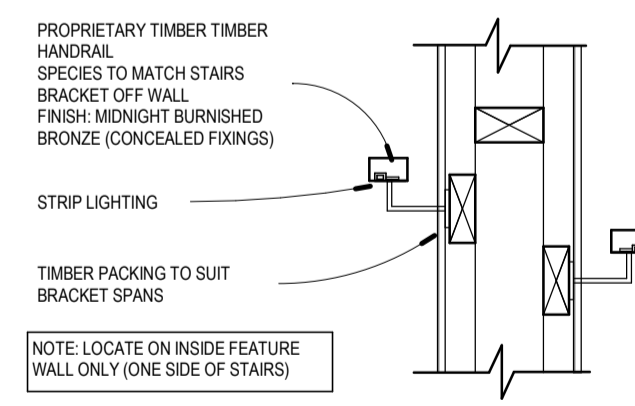


DWG REF: 8
 DWG NUMBER: 8
 VIEW NAME: Clad Wall Junction Detail - FRL 60/60/60
 SCALE: 1:20

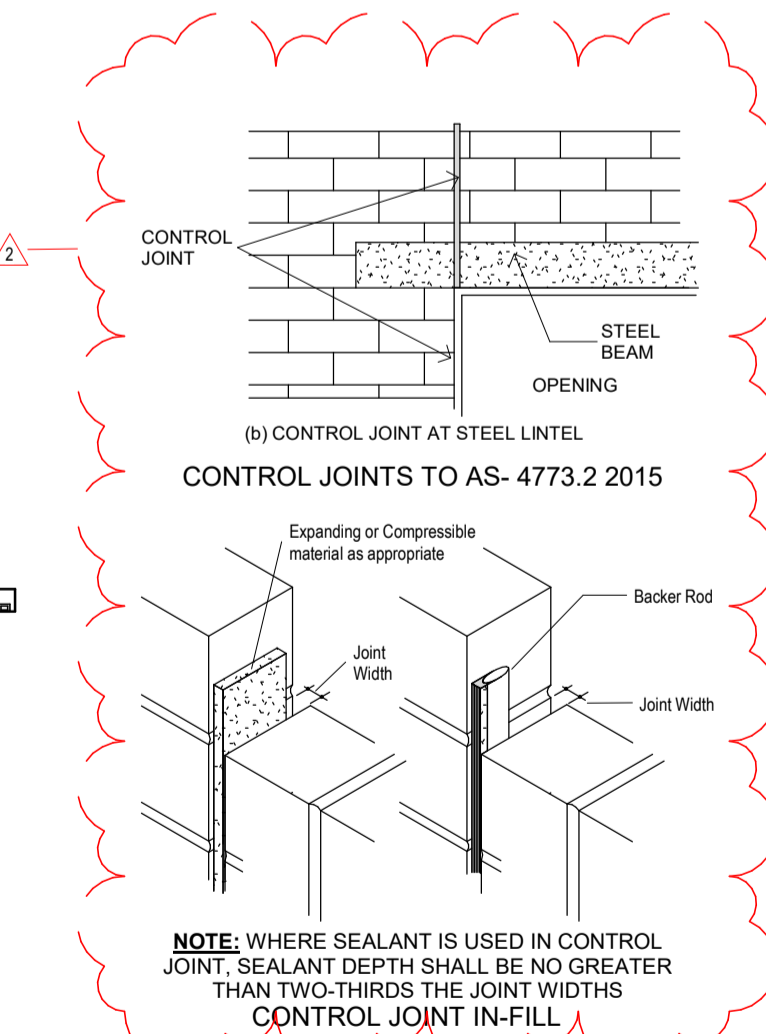
DWG REF: 10
 DWG NUMBER: 10
 VIEW NAME: Expansion Joint Detail
 SCALE: 1:20



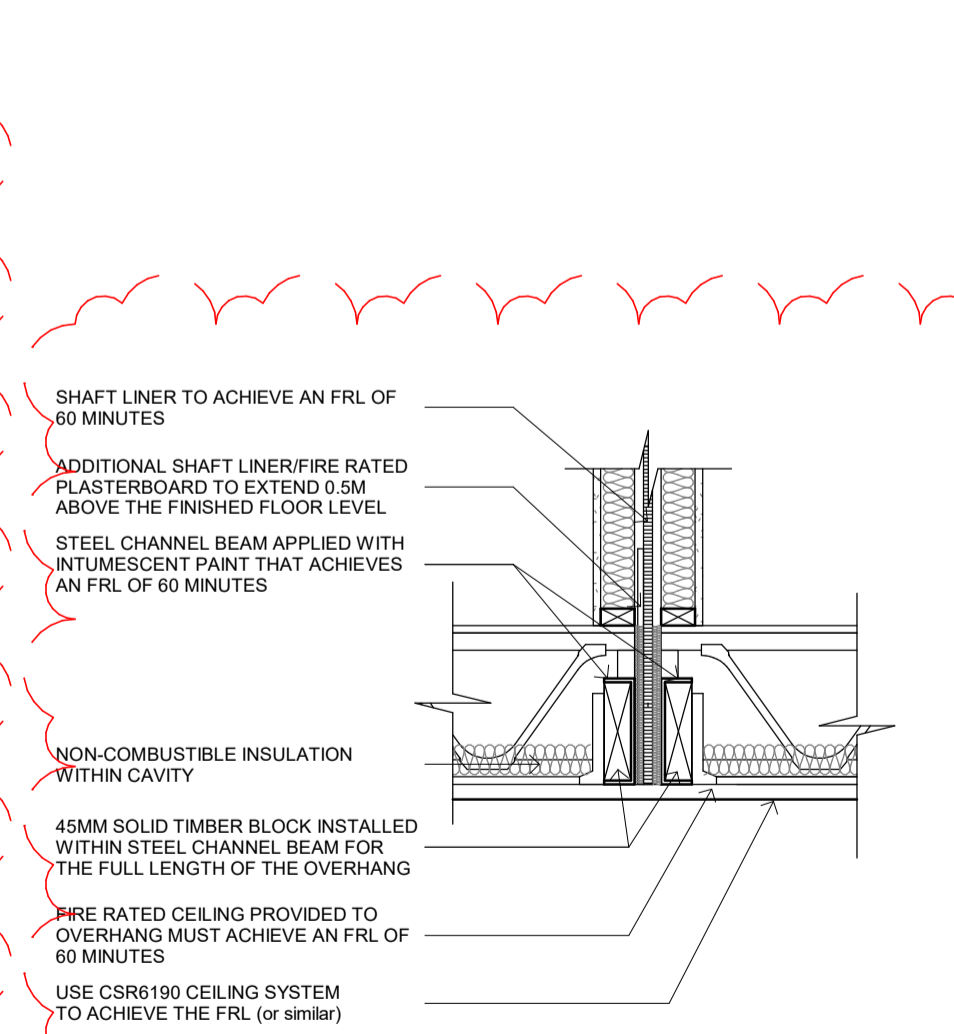
STAIR DETAIL
 SCALE 1:10 @ A1, 1:20 @ A3



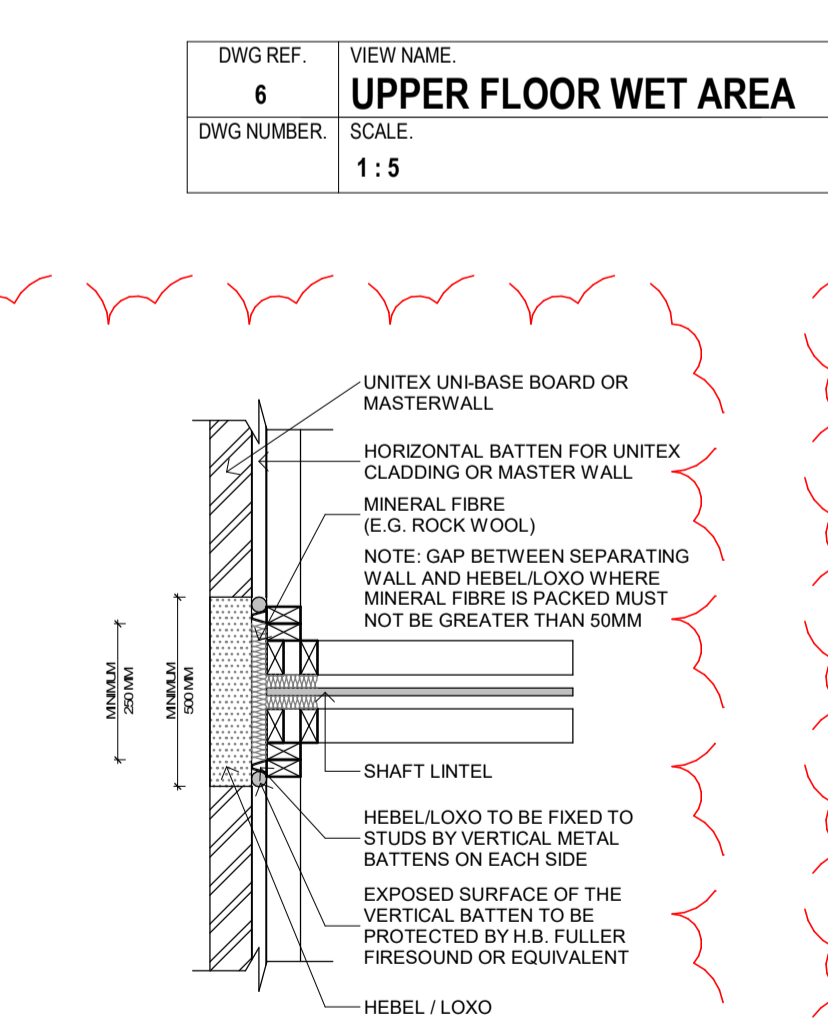
HANDRAIL DETAIL
 SCALE 1:10 @ A1, 1:20 @ A3



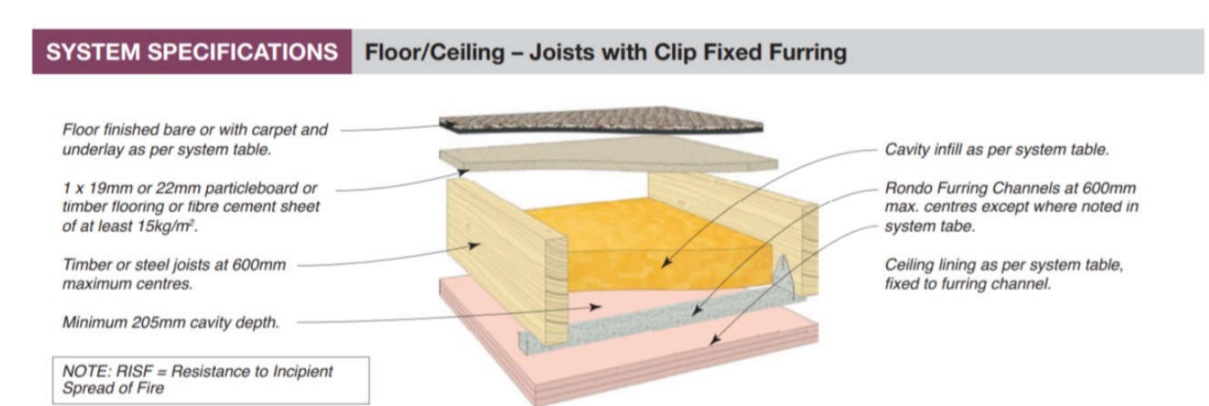
DWG REF: 9
 DWG NUMBER: 9
 VIEW NAME: Control Joint In-Fill
 SCALE: 1:20



DWG REF: 11
 DWG NUMBER: 11
 VIEW NAME: Fire Protection To Ceiling Separating Wall Interface
 SCALE: 1:20



DWG REF: 12
 DWG NUMBER: 12
 VIEW NAME: Party wall junction detail
 SCALE: 1:20



SYSTEM SPECIFICATION		ACOUSTIC OPINION: PKA-A122			
FRL Report/Option	SYSTEM N°	CEILING LININGS	CAVITY INFILL (Refer to TABLE B1.3)	R _w / R _w +C _p	Bare Floor L _{n,w} / Carpet + Underlay L _{n,w}
60/60/60 +RISF 60 EWFA 26162	CSR 6190	<ul style="list-style-type: none"> 1 x 13mm Gyprock Fyrchek Plasterboard. 1 x 16mm Gyprock Fyrchek Plasterboard (any order). 	(a) NI (b) 90 Gold Batts 2.0 (c) 70 Soundscreen 2.0	45/39 50/44 51/45	75 - 80 65 - 70 65 - 70

DWG REF: 5
 DWG NUMBER: 5
 VIEW NAME: Stair + Balustrade Details
 SCALE: 1:10

Rev	Description	Date
1	Issue for Building Permit	14.02.22
2	Issue in response to RFI letter	11.05.22



Scale
 A3 / A1 As indicated

Drawn by
 GM
 Checked by
 GM

Project Number
 211636
 Issue Date
 FEB 2022

Drawing Number
 A.800
 Revision Issue
 2



WALL TYPES

M3 Design (VIC) Pty Ltd
T/A MKT Building Surveyors
ISSUED 19/07/2022
PERMITS NUMBER 8828501765003
INSPECTION BOOKINGS
9379 0009 DR 0402 619 929
inspections@m3consultants.com.au

WALL TYPE:	DESCRIPTION/COMPONENTS:	FRL:	Rw/Rw + Ctr	R-Value (Energy Rating Requirements)	General Notes	WALL TYPE:	WALL TYPE:	DESCRIPTION/COMPONENTS:	FRL:	Rw/Rw + Ctr	R-Value (Energy Rating Requirements)	General Notes
BW01 SYSTEM LOCATION: LOCATED IN GARAGES. BRICK FEATURE WALL EXTENDING OUT FROM GARAGE ALONG BOUNDARY	- 110MM BRICKWORK - 10MM CAVITY - 110MM BRICKWORK	---	-	NIL	- PROVIDE FULL HEIGHT ARTICULATION JOINTS IN ALL CONTINUOUS BRICKWORK/BLOCKWORK WALLS IN EXCESS OF 6 METRES IN LENGTH IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS. - REFER MATERIALS SCHEDULE FOR MORTAR COLOUR	ST06 SYSTEM LOCATION: LIGHTWEIGHT EXTERNAL UPPER FLOOR WALLS	EXTERNAL INTERNAL	- 75MM UNI-BASE BOARD, NON-CAVITY SYSTEM - 90MM TIMBER STUD - R2.5 INSULATION - 10MM PLASTERBOARD - SISALATION TO EXTERNAL FACE OF STUD WALL	---	N/A	R2.5 INSULATION + NON-REFLECTIVE WALL WRAP REQUIRED	- REFER TO ENERGY REPORT FOR INSULATION SPECIFICATION - REFER TO RELEVANT CODE/MARK CERTIFICATE - PLIABLE BUILDING MEMBRANE TO EXTERNAL LIGHTWEIGHT WALL TYPES. REFER TO TECHNICAL DATA SHEET IN COMPLIANCE TO AS/NZS 4200.1.
BW02 SYSTEM LOCATION: BOUNDARY WALLS IN GARAGES	- 110MM BRICKWORK - INTERMITTENT 110MM ENGAGED BRICK PIER	---	-	NIL	- PROVIDE FULL HEIGHT ARTICULATION JOINTS IN ALL CONTINUOUS BRICKWORK/BLOCKWORK WALLS IN EXCESS OF 6 METRES IN LENGTH IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS. - REFER MATERIALS SCHEDULE FOR MORTAR COLOUR - PIER SPACINGS TO BE 960MM MAX. AS PER MASONRY CODE, OR TO ENGINEERS DESIGN.	ST07 SYSTEM LOCATION: EXTERNAL UPPER FLOOR WALLS WITH STRIA CLADDING	EXTERNAL INTERNAL	- 14MM STRIA CLADDING - HARDEWRAP WEATHER BARRIER - 90MM TIMBER STUD - R2.5 INSULATION - 10MM PLASTERBOARD	---	N/A	R2.5 INSULATION REQUIRED	- REFER TO STRIA INSTALLATION MANUAL AND CONSTRUCTION DETAILING MANUAL - NON COMBUSTIBLE SISALATION AND INSULATION TO BE USED - REFER TO ENERGY REPORT FOR INSULATION SPECIFICATION
ST01 SYSTEM LOCATION: EXTERNAL GROUND FLOOR WALLS CSRS877	- 10MM PLASTERBOARD - 90MM TIMBER STUD - R2.5 INSULATION + REFLECTIVE WALL WRAP - SELECTED SISALATION - 40MM AIR CAVITY - 110MM BRICKWORK	60/60/60	59/51	R2.5 INSULATION + REFLECTIVE WALL WRAP	- PROVIDE FULL HEIGHT ARTICULATION JOINTS IN ALL CONTINUOUS BRICKWORK/BLOCKWORK WALLS IN EXCESS OF 6 METRES IN LENGTH IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS. - REFER MATERIALS SCHEDULE FOR MORTAR COLOUR - SISALATION TO BE NON-COMBUSTIBLE - INSULATION TO BE NON-COMBUSTIBLE - REFER TO ENERGY REPORT FOR INSULATION SPECIFICATION	ST8 SYSTEM LOCATION: EXTERNAL UPPER FLOOR HARDIE SMART WALLS FIRE RATED	EXTERNAL INTERNAL	- SELECTED HARDEE EXTERNAL CLADDING (8MM THICK OR GREATER) - HARDEE WRAP WEATHER BARRIER - 60MM HARDEE FIRE INSULATION - 90MM TIMBER STUD - 6MM HARDEE INTERNAL LINING OR 10MM STANDARD PLASTERBOARD	60/60/60	TBC	TBC	- REFER TO THE HARDEE™ WRAP WEATHER BARRIER DATASHEET FOR MORE INFORMATION ON STANDARD INSTALLATION. - 60MM HARDEE™ FIRE INSULATION MUST BE USED AS THE FRAME CAVITY INFILL AND MUST BE COMPRESSED 5MM MINIMUM IN BOTH VERTICAL AND HORIZONTAL DIRECTIONS - ALTERNATIVE HARDEE INTERNAL LININGS WITH A MINIMUM OF 8MM THICK MAY BE USED WHEN INSTALLED IN ACCORDANCE WITH THE RELEVANT MANUAL. IN DRY AREAS ONLY. 10MM STANDARD PLASTERBOARD CAN BE USED AS A VARIATION FROM HARDEE INTERNAL LININGS. - ANY HARDEE™ EXTERNAL CLADDING 8MM OR THICKER MAY BE USED (FLAT SHEET OR WEATHERBOARD TYPE). IT MUST BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE INSTALLATION INSTRUCTIONS.
ST02 SYSTEM LOCATION: BORAL PARTYWALL SYSTEM SYSTEM NO. PWT80.1A TYPICAL PARTY WALL	- 10mm SOUNDSTOP NON-FIRE RESISTANT LINING - 90mm TIMBER STUD WALL - 20mm min GAP BETWEEN TIMBER FRAME AND FIRE BARRIER - 1 x 25mm SHAFTLINER BETWEEN 25mm H- STUDS @ 600mm ctrs - 20mm min GAP BETWEEN TIMBER FRAME AND FIRE BARRIER - 90mm TIMBER STUD WALL - 10mm SOUNDSTOP NON-FIRE RESISTANT LINING - INSULATION FOR BOTH CAVITIES - R2.0 GW WALL BATTS	60/60/60	50	R2.5 INSULATION REQUIRED TO BOTH SIDES	- 25MM BORAL SHAFTLINER PANEL FIRE BARRIER (INSTALLATION AS PER MANUFACTURER'S SPECIFICATION) - INSULATION - 90G32 BOTH SIDES, OR AS PER MANUFACTURER'S SPECIFICATION TO MEET RW + CRT OF NOT LESS THAN 50 IN ACCORDANCE WITH NCC PART 3.8.6							
ST03 SYSTEM LOCATION: INTERNAL STUD WALL	REPLACE WITH 9MM VILLABOARD (OR SIMILAR) AND 10MM TILE IN WET AREA - 10MM PLASTERBOARD - 90MM TIMBER STUD - 10MM PLASTERBOARD	---	N/A	NIL								
ST04 SYSTEM LOCATION: INTERNAL STUD WALL (ABUTTING GARAGE/ UNCONDITIONED SPACE)	REPLACE WITH 9MM VILLABOARD (OR SIMILAR) AND 10MM TILE IN WET AREA - 10MM PLASTERBOARD - 90MM TIMBER STUD - R2.5 INSULATION - 10MM PLASTERBOARD	---	N/A	R2.5 INSULATION REQUIRED	- REFER TO ENERGY REPORT FOR INSULATION SPECIFICATION							
ST05 SYSTEM LOCATION: EXTERNAL GROUND FLOOR WALLS The NASAHILOXO External Wall Panel System	EXTERNAL - 50MM AAC PANEL - 25MM BATTENS - 10MM PLASTERBOARD - 90MM TIMBER STUD - SISALATION/SARKING TO EXTERNAL FACE OF STUD WALL	120/120/120		TBC	PLIABLE BUILDING MEMBRANE TO EXTERNAL LIGHTWEIGHT WALL TYPES. REFER TO TECHNICAL DATA SHEET IN COMPLIANCE TO AS/NZS 4200.1.							

NOTES:
- SELECT PRODUCTS TO COMPLY WITH BCA 2010 REGULATIONS & ENERGY RATING CONSULTANTS RECOMMENDATION.
- ADOPT WATER RESISTANT PLASTERBOARD TO ALL WET AREAS
- ADOPT PYROCHEM™ WHERE FIRE RATING IS REQUIRED.
- PROVIDE FULL HEIGHT ARTICULATION JOINTS IN ALL CONTINUOUS BRICKWORK/BLOCKWORK WALLS IN EXCESS OF 6 METRES IN LENGTH IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- TIMBER FRAMING TO BE PER AS1684 OR AS1720.1
- ALL SISALATION/INSULATION TO BE NON-COMBUSTIBLE

A PLIABLE MEMBRANE COMPLYING WITH AS/NZS 4200.1 TO ALL EXTERNAL WALL SYSTEMS TO SEPARATE THE FRAMING FROM THE CLADDING AS REQUIRED BY PART 3.8.7 OF THE NCC.