#### GENERAL NOTES

THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF PLANNING AND DESIGN, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF PLANNING AND DESIGN DOES SO AT THEIR OWN RISK -AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY PLANNING AND DESIGN OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE THIS DRAWING - FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR -CONTACT THIS OFFICE IMMEDIATELY.

-ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.

-THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

-THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL. QUOTATION OR TO BE USED BY BUILDERS.

WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS. SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS. STATUTORY REQUIREMENTS. BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

## BCA AND STANDARDS - GENERAL

ALL WORKS SHALL COMPLY WITH THE BCA 2019 AND NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD.

- A.S 1288-2006 GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
- A.S 1562-2018 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
- A.S 1684.2-2010 NATIONAL TIMBER FRAMING CODE A S 1860-2006 - INSTALLATION OF PARTICLEROARD FLOORING

A.S 2047-2014 - WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS

A S 2049- 2002 - BOOF THES

A.S 2050-2002 - INSTALLATION OF ROOFING TILES

A.S 2870-2011 - RESIDENTIAL SLABS AND FOOTING CONSTRUCTION

- A.S 2904-1995 DAMP PROOF COURSES AND FLASHINGS
- A S 3600- 2018 CONCRETE STRUCTURES
- A.S 3660.1-2017 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART1 NEW BUILDINGS
- A.S 3700-2018 MASONRY STRUCTURES
- A.S 3740-2010 & BCA PART 3.8.1 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- A.S 3786-2014 SMOKE ALARMS
- A.S 4100-1998 STEEL STRUCTURES

A \$ 4256-1996 - PLASTIC BOOF AND WALL CLADDING MATERIALS

1. ARCHITECTURAL PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, DRAWINGS, AND SOIL REPORTS

2. FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT

3. FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES

4. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS 5. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

GLAZING:

GLAZING SHALL COMPLY WITH AS1288-2006 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

- 1. ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR 2. BATHROOMS WITHIN1500MM VERTICAL FROM THE BATH BASE
- 3. LAUNDRY WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ALL DOORS 4. DOORWAY WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL BE GRADE A SAFETY

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

STRUCTURAL REQUIREMENTS:

-NO FOOTINGS ARE TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES. ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION AND BE IN ACCORDANCE WITH AS 3600

-ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.

-ALL DAMP PROOF COURSES AND FLASHING MUST BE IN ACCORDANCE WITH AS 2904. -STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS 4100.

-ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm.

ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019

-PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684. SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sg. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL

SUB-FLOOR PLINTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER. CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING. REFER TO PART 3.4.1 DIAGRAM B OF THE NCC 2019 VOL.2 FOR SUB-FLOOR VENTILATION DETAILS.

#### BOOF TRUSSES

ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS, MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION

## STAIRS, LANDINGS & BALUSTRADES

1. STAIRS. STAIRWAYS AND BALUSTRADES TO COMPLY WITH NCC 2019 VOL.2; 3.9.1 AND 3.9.2.

STAIR REQUIREMENTS: (OTHER THAN SPIRAL STAIRS) RISERS 190MM MAXIMUM. 115MM MINIMUM:

GOING 355MM MAXIMUM: 240MM MINIMUM:

PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE

HROUGHOUT FLIGHT. 2.PROVIDE NON-SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING WITH NON SLIP RESISTANCE

TO EITHER P4 OR R11. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED

RISES, PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM. 3.HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL. 865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.

4.MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.

CONTINUOUS HANDBAIL TO BE INSTALLED TO ONE SIDE OF STAIR COMPLIANT WITH PART 3.9.2.4 OF THE NCC 2019 VOL.2.

#### LIGHTING

1. ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680.0-2009 2. ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH PART 3.12.5.5 OF THE NCC 2019 VOL 2.

IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SUBFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900MM WIDE X 900MM LONG, WHICHEVER IS GREATER.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.

#### TERMITE AND CORROSION PREVENTION

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA. THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1 PROVIDE COBROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS. SHELE ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH NCC 2019 VOL.2 TABLE 3.3.5.6. PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH NCC 2019 VOL.2 TABLE 3.5.1.1.

#### CORROSION

FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALTWATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.

#### BUSHFIRE DESIGN INFORMATION:

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS 3959.2018, WHICH SPECIFIES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE IMMEDIATELY.

## STORM WATER AND DRAINAGE

- STORMWATER SHALL COMPLY WITH AS/NZS3500.3-2018
- 1. STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
- 2. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS
- INSPECTION OPENINGS TO BE AT 9000mm CTRS AND AT EACH CHANGE OF DIRECTION. PROVIDE 100mm DIA UPVC PIPES
- PROVIDE 75mm DIA DOWNPIPES

PROVIDE A MINIMUM FALL GRADIENT OF 1:100 BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER.

### THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:

100mm UNDER SOIL

50mm LINDER PAVED OR CONCRETE AREAS 100mm UNDER UN-REINFORCED CONCRETE OR PAVED DRIVEWAYS

75mm UNDER REINFORCED CONCRETE DRIVEWAYS

ALL BOX GUTTERS TO BE A MINIMUM OF 100mm x 200mm UNLESS OTHERWISE SPECIFIED - 1:100 GRADE MINIMUM - ADJUST TO SUIT ON SITE.

SEWER AND SEPTIC SYSTEMS TO BE IN ACCORDANCE WITH AS.3500

ALL SUBFACE WATER BUIN-OFF MUST BE CONTAINED WITHIN THE PROPERTY BOUNDABLES AND DISCHARGED TO THE STORM WATER SYSTEM.

THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

#### WATERPROOFING

WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

## VENTILATION

1.MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE NCC 2019 VOL.2. PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICLEBOARD FLOORING OR 400MM WHERE IN TERMITE PRONE AREA

SUB FLOOR VENTS TO PROVIDE A RATE OF 6000MM SQ. CLEAR VENTILATION PER 1000MM RUN OF EXTERNAL MASONRY WALL A

## SMOKE ALARMS

1. LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2014 AND PART 3.7.3.5 OF THE NCC 2019 AND SHALL BE HARD WIRED WITH BATTERY BACKUP.

1 MASONBY TO COMPLY WITH AS3700-2018 OB AS4773 1-2015 & AS4773 2-2015 2.PROVIDE WALL TIES TO BRICKWORK AS PER 3.3.5.10 WALL TIES ON THE NCC 2019 VOL.2. GENERALLY WALL TIES TO BE 600MM CTRS IN EACH DIRECTION FOR CAVITY MASONRY, FOR MASONRY VENEER: 600X450 FOR 450 STUD WALLS AND 600X600 FOR 600 STUD WALLS AND WITHIN 300MM OF ARTICULATION JOINTS. 3 PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS 2200MM SQ. CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS

OTHER GENERAL NOTES

(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE INTERCONNECTED WITH A BATTERY BACK-UP.

4.SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.

ALL SUB-FLOOR CONSTRUCTION AS PER ENGINEERS DESIGN & SPECIFICATIONS.

REFER TO ENGINEERS DRAWINGS AND COMPUTATIONS.

CONC. EXPOSED CONCRETE TO CLIENTS SPECIFICATION

90x45 MGP10

70x35 MGP10 AT 1350 CTRS MAX

38x75 F8 HW AT 330 CTRS (TILE)

WITH MANUFACTURERS SPECIFICATIONS AND AUSTRALIAN STANDARDS.

INTERNAL WALL FINISHES: 10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL WALLS)

10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL CEILINGS)

CLIENT TO SELECT SQUARE FINISH OR CORNICE FOR EACH ROOM.

FRAMING MUST BE IN ACCORDANCE WITH AS.1684.

LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

TO BE PROVIDED PRIOR TO FRAME INSPECTION.

38x75 F8 HW AT 900 CTRS (COLORBOND)

38x75 F8 HW AT 900 CTRS (KLIP-LOK)

FLOOR FINISHES AS SELECTED BY CLIENT.

TIMBER FLOOR BOARDS

STUDS-90x45 MGP10 AT 450 CTRS

JAMB STUDS- 2 / 90x45 MGP10

TOP PLATE- 2 / 90x45 MGP10

TILE. TILE FLOORING PC. POLISHED CONCRETE

CP CARPET

WALL FRAMING

BOTTOM PLATE-

ROOF FRAMING:

ROOF BATTENS:

WET AREAS

WINDOWS

DOCUMENTS.

ORDER WITH MANUFACTURER.

OTHERWISE STATED

PLANNING & DESIGN P/L

31 Enfield Ave Preston 3072 T:9018 1529

E: admin@planninganddesign.com.au

DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

C THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN AND ARE SUBJECT TO COPYRIGHT REGULATIONS

ALL GLAZING MUST COMPLY WITH AS 1288

WINDOW MANUFACTURER PRIOR TO ORDERING

AND IN ACCORDANCE WITH STANDARD B22 OF RESCODE

"a.f.I" DENOTES A MEASUREMENT ABOVE THE FINISHED FLOOR LEVEL.

"REST" DENOTES A WINDOW WITH RESTRICTED OPENNABILITY OF 100mm MAX

EXTERNAL FINISHES

NOGGINS-

FB.

(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL EXHAUST FANS TO OUTSIDE AIR WHERE POSSIBLE -OR, AN EXHAUST FAN OF RATING 140/S MIN TO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000mm HORIZONTAL DUCT - IN ACCORDANCE WITH AS.1668. EXTERNAL DISCHARGE RATE MINIMUM 25I/S.

SANITABY COMPARTMENT DOORS MUST FITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE UNLESS A MINIMUM CLEARANCE OF 1200mm BETWEEN THE DOOR AND THE PAN IS ACHIEVED.

ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE

EXTERNAL FINISHES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS.

ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE

1. ALL WET AREAS TO COMPLY WITH PART 3.8.1.2 NCC 2019 VOL.2 AND AS3740-2010. WALL FINISHES SHALL BE

WATER RESISTANT TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

2. TIMBER FLOORS INCLUDING PARTICLEBOARD AND PLYWOOD IN AREAS ADJACENT TO BATHS AND SPAS AND OUTSIDE SHOWER AREAS TO BE WATERPROOFED AS PER PART 3.8.1.2 NCC 2019 VOL.2 AND AS3740-2010.

WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY.

BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING

"OBS" DENOTES A WINDOW WHICH IS OBSCURED, FROSTED OR TRANSLUCENT - CONFIRM WITH CLIENT UNLESS

SCRN" DENOTES A WINDOW WHICH REQUIRES A FIXED SCREEN FROM SILL TO 1.7m a.f.I AT 25% VISIBILITY MAX

ALL WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE UNLESS OTHERWISE STATED.

Revisions

REV- 12.04.2023 ISSUE FOR TENDER, NOT CONSTRUCTION

REV- 11.07.2023 ISSUE FOR CONSTRUCTION

"CHK" DENOTES A WINDOW MEASUREMENT WHICH NEEDS TO BE CONFIRMED ONSITE BY THE BUILDER AND

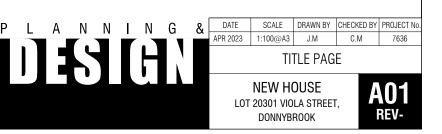
ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING

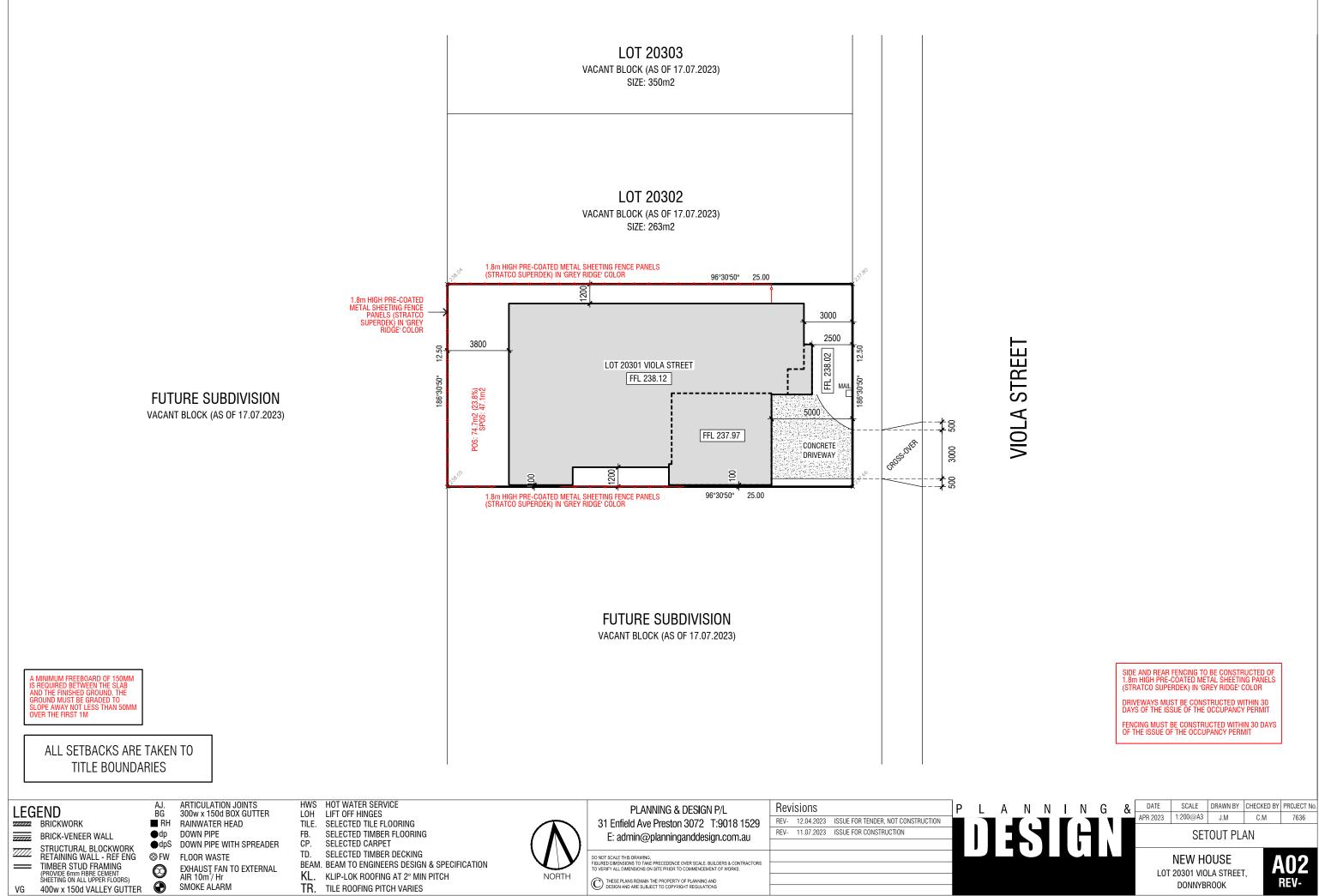
BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY.

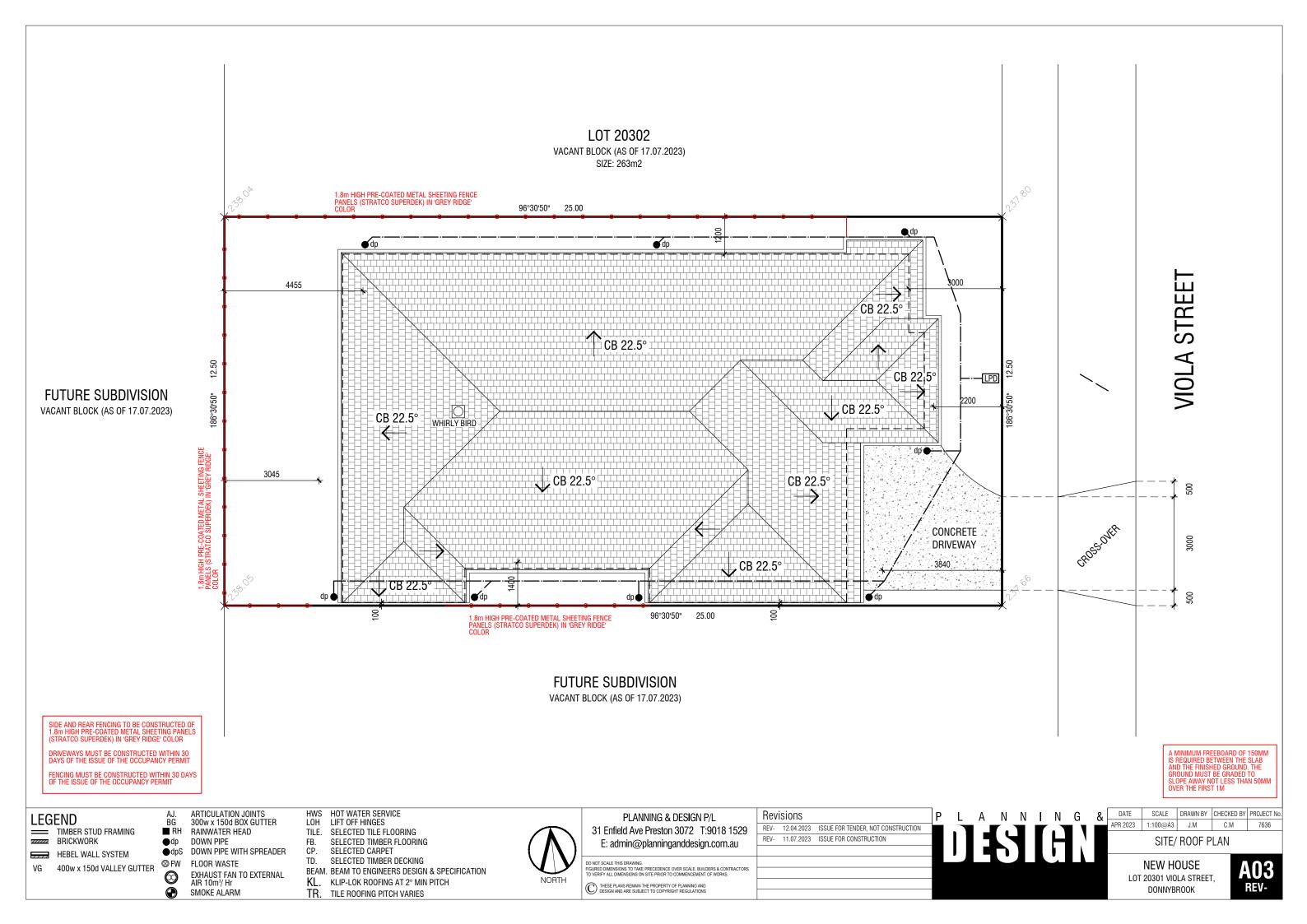
WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES.

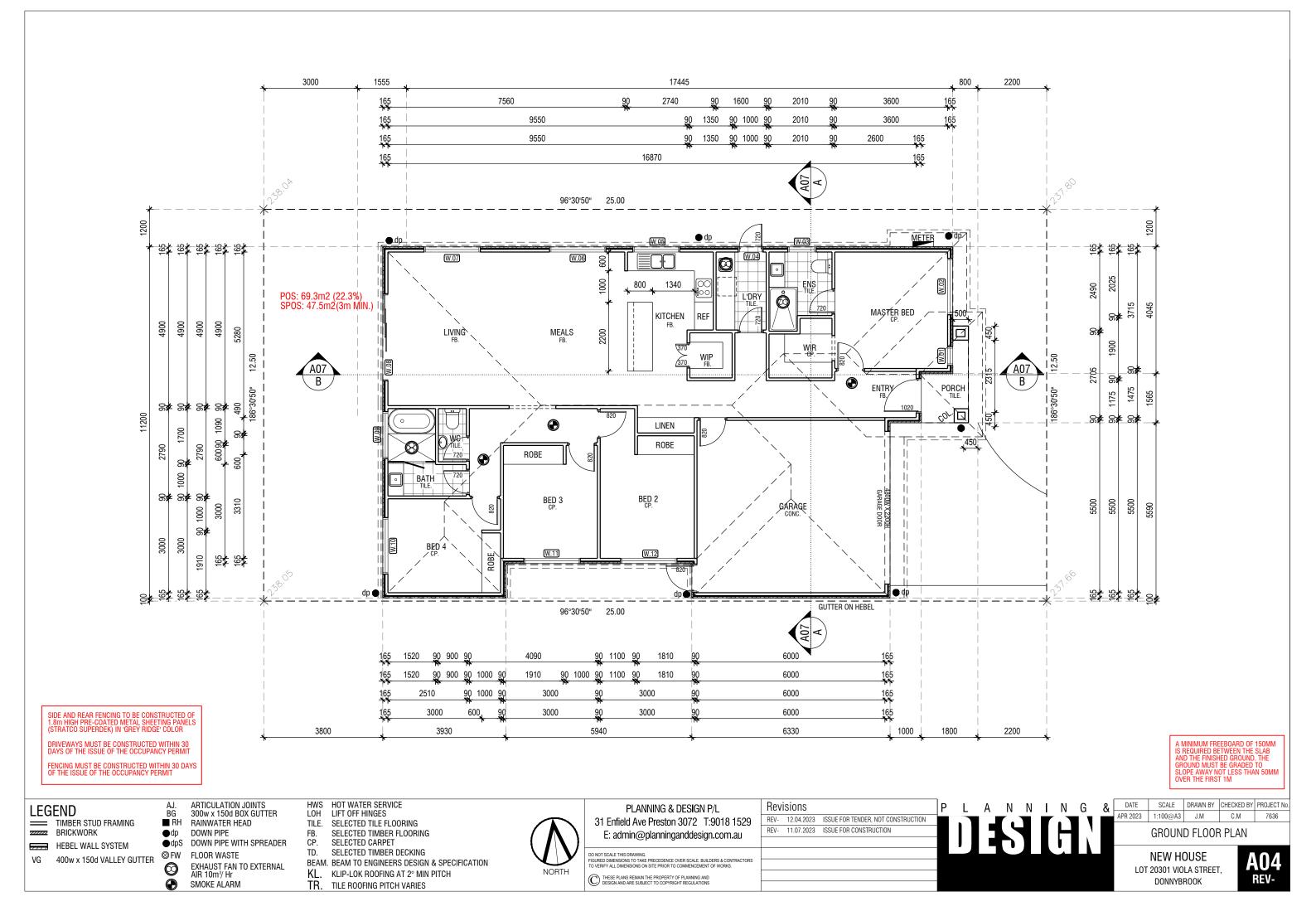
# **AREA SCHEDULE:**

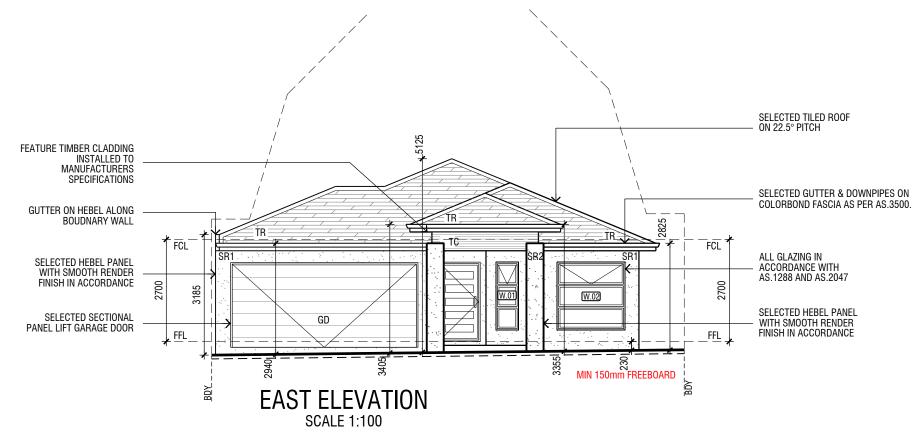
GROUND FLOOR A GARAGE: PORCH:	REA: 148.4 m <sup>2</sup> 35.3 m <sup>2</sup> 4.0 m <sup>2</sup>
TOTAL AREA:	20.1 SQ 187.7 m <sup>2</sup>
POS: SITE AREA:	74.7 m <sup>2</sup> 313.0 m <sup>2</sup>
SITE AREA: SITE COVERAGE:	59.9% 187.7 m <sup>2</sup>
SITE PERMEABILIT	Y: 34.8% 109.0 m <sup>2</sup>

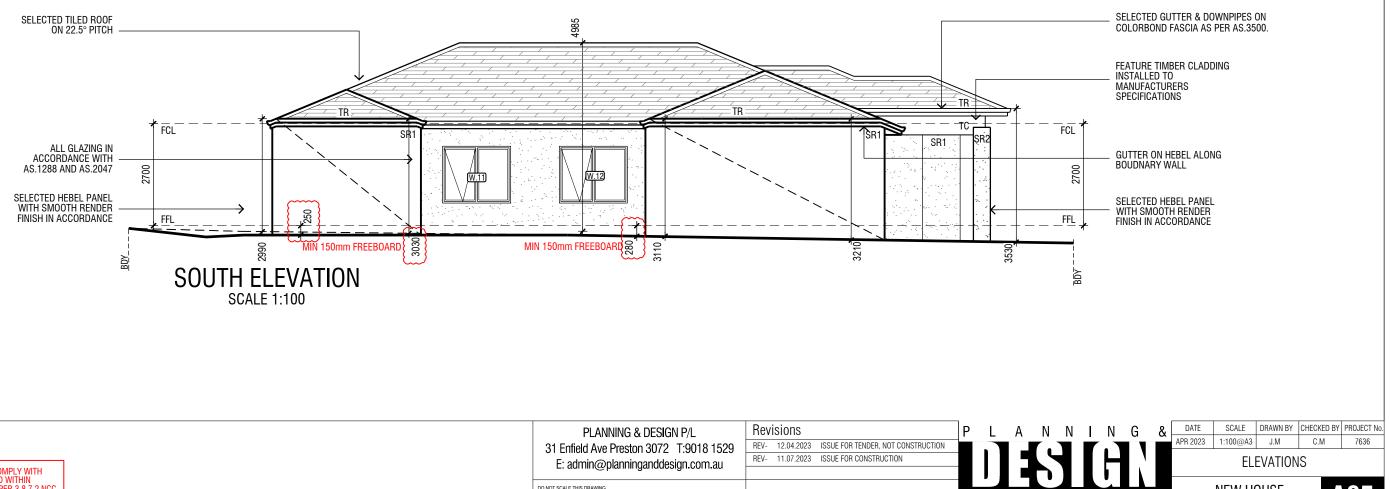












	PLANNING & DESIGN P/L	Revisions	P	L	А
	31 Enfield Ave Preston 3072 T:9018 1529	REV- 12.04.2023 ISSUE FOR TENDER, NOT CONSTRUCTION			
	E: admin@planninganddesign.com.au	REV- 11.07.2023 ISSUE FOR CONSTRUCTION			
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ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL	DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS				
BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019	FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SALEE BUILDER'S A UNITAKI TAKU TAKE TO VERIEY ALL DIMENSIONS ON THE PROKET OCCUPIENT OF THE PROKES.				
	THESE PLANS REMAIN THE PROPERTY OF PLANNING AND				
	Design and are subject to copyright regulations				

# **MATERIAL SCHEDULE:**

SR1	SMOOTH RENDER FINISH							
SR2	SMOOTH RENDER FINISH							
TC	TIMBER LOOK CLADDING IN STANIED OR							
	SIMILAR FINISH							
GD	SELECTED SECTIONAL GARAGE DOOR							
TP	1.8m HIGH TIMBER PAILING FENCE							
TR	SELECTED TILED ROOF AT 22.5							
	DEGREE PITCH							
ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH								

COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT

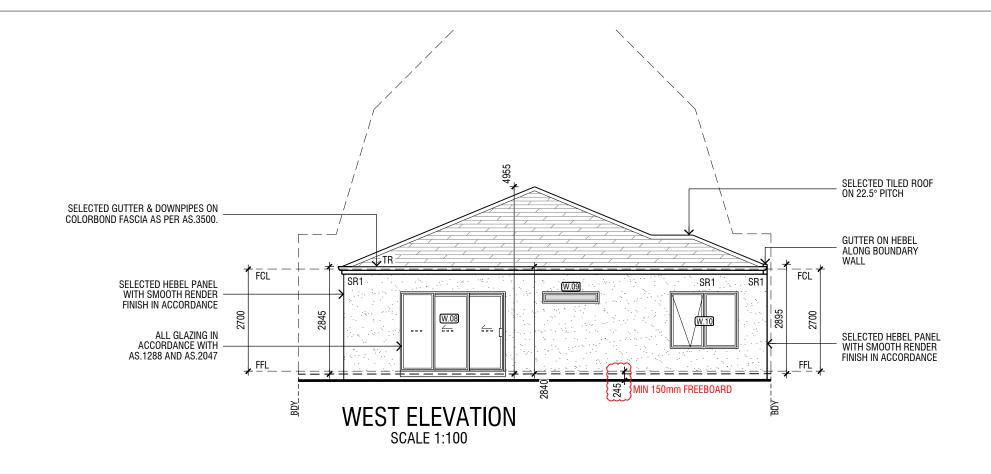
NEW HOUSE

LOT 20301 VIOLA STREET,

DONNYBROOK

A05

**REV-**



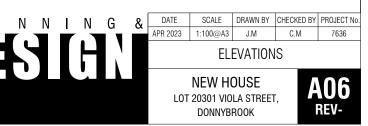


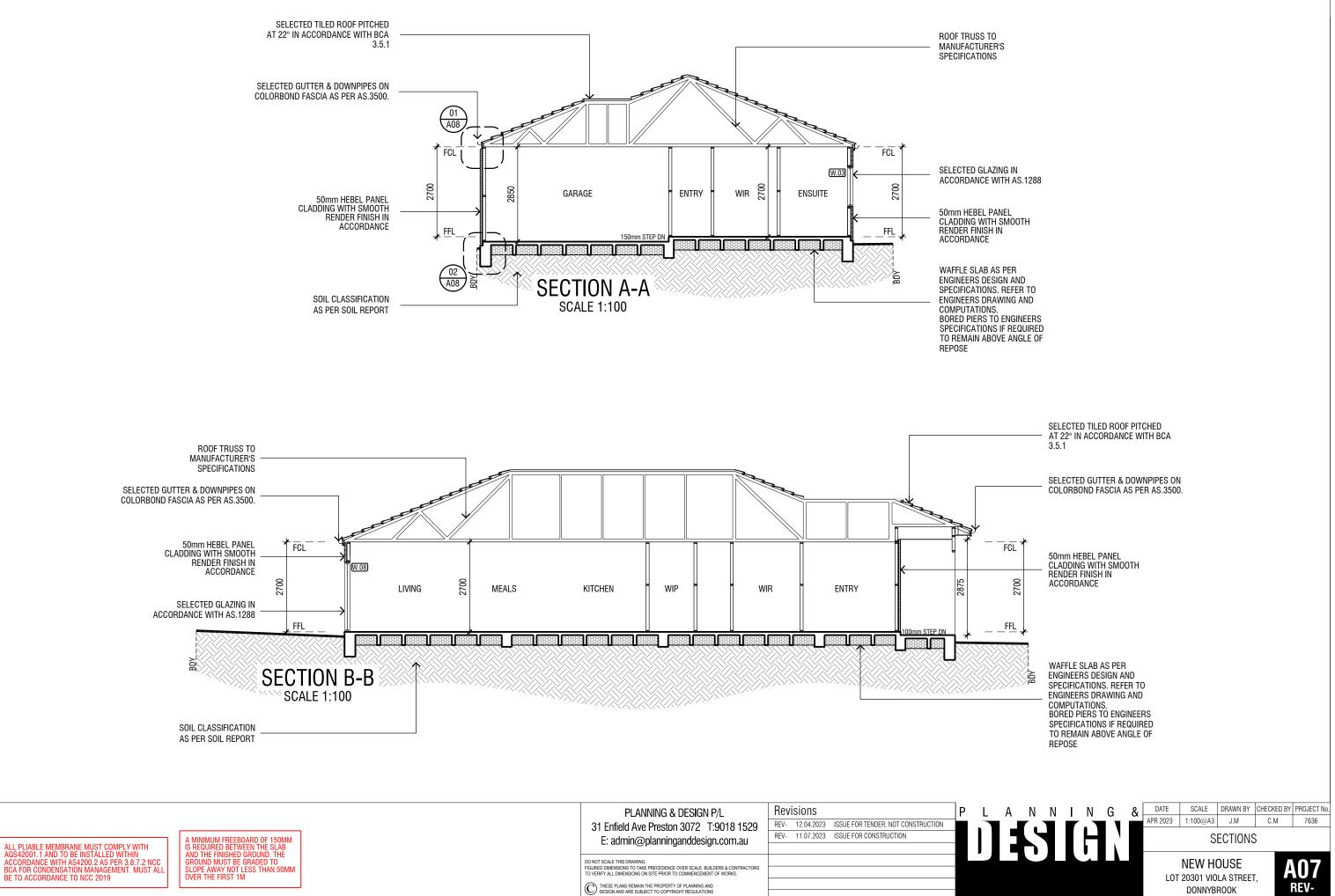
ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN	PLANNING & DESIGN P/L 31 Enfield Ave Preston 3072 T:9018 1529 E: admin@planninganddesign.com.au	Revisions   REV- 12.04.2023 ISSUE FOR TENDER, NOT CONSTRUCTION   REV- 11.07.2023 ISSUE FOR CONSTRUCTION	P	A	Į
ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019	DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. Image: Display the property of planning and Design and are subject to copyright regulations				

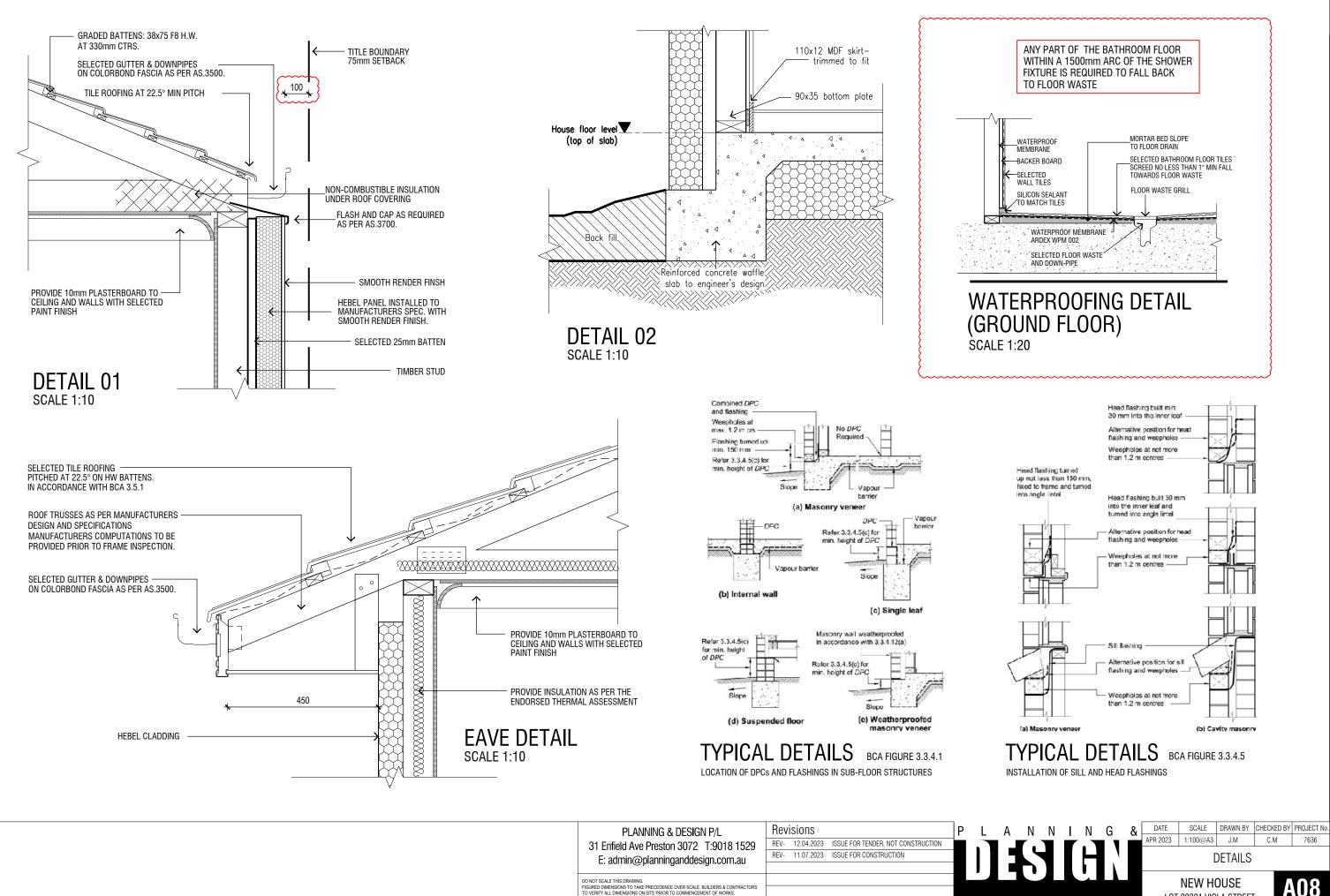
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COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT

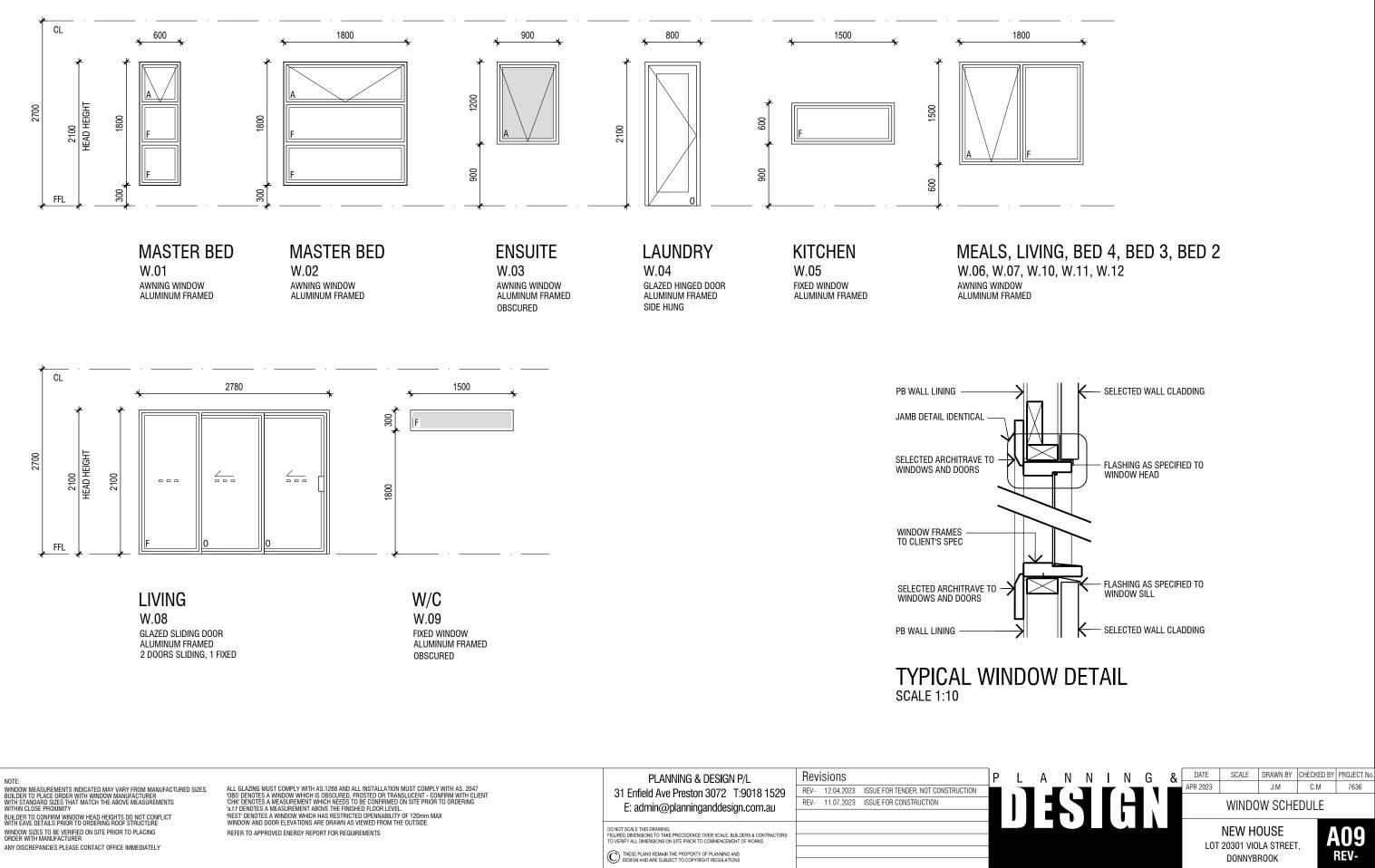


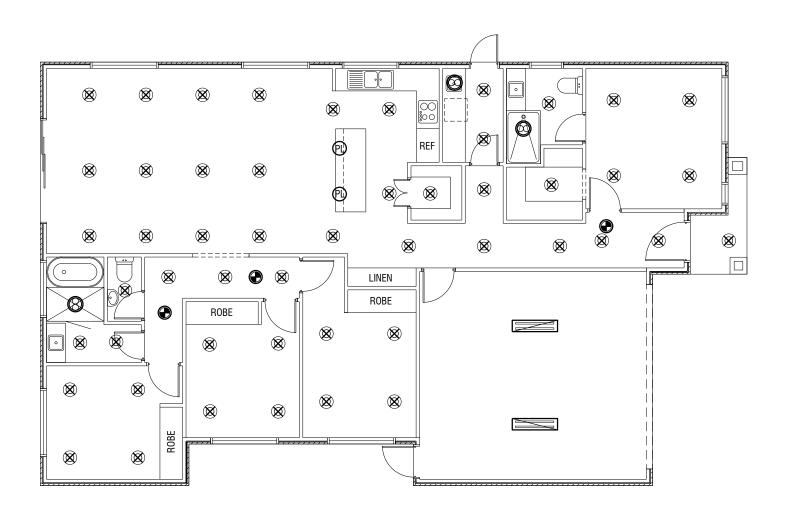


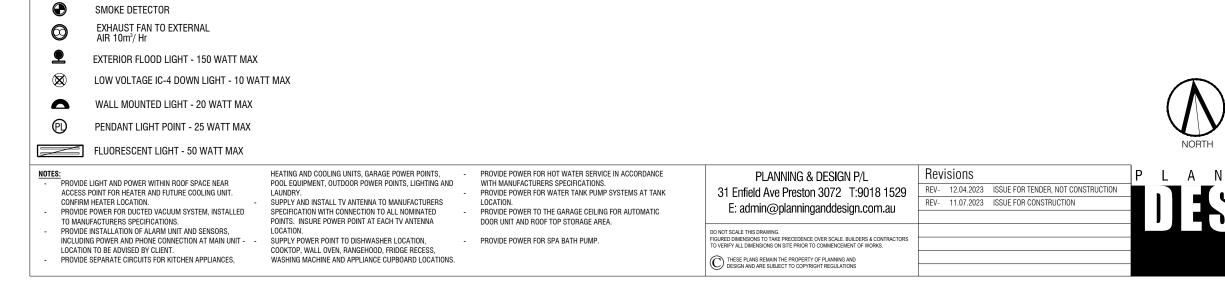


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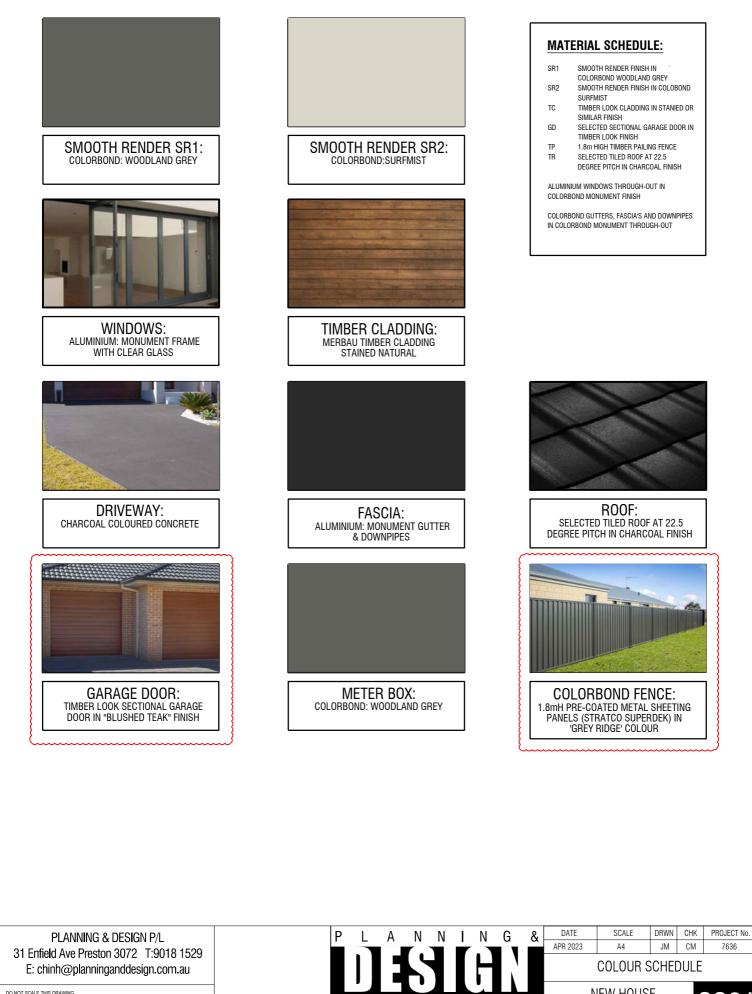




# LIGHTING POWER DENSITY

NORTH

	CALCULATIONS BASED ON GENERAL WATTAGES AND NUMBER OF INDIVIDUAL INTERNAL LIGHTING FIXTURES AS PER THE ENDORSED ELECTRICAL PLAN.									
	TOTAL HABITABLE AREA (5w/m2): 148.1 M <sup>2</sup>								2	
	MAXIMUM LIGHTING POWER: 740.5 WATT								ATTS	
	TOTAL HABITABLE LIGHTING POWER: 540.0 WATTS									ATTS
	TOTA	L POF	RCH. A	\LFR	ESCO (4	w/m2)				
TOTAL PORCH, ALFRESCO (4w/m2) TOTAL NON-HABITABLE AREA: 4.0 M <sup>2</sup>									1 <sup>2</sup>	
MAXIMUM LIGHTING POWER: 16.0 WATTS									ATTS	
	TOTAL NON-HABITABLE LIGHTING POWER: 10.0 WATTS									ATTS
	TOTAL GARAGE (3w/m2)									
	TOTAL NON-HABITABLE AREA: 35.3 M <sup>2</sup>									
	MAXIMUM LIGHTING POWER: 105.9 WATTS									ATTS
	TOTA	l noi	N-HAE	BITAI	BLE LIGH	TING POV	VER:	100.0	W	ATTS
Ν	Т	Ν	G	&	DATE	SCALE	DRAWN BY	CHECKED	ΒY	PROJECT No.
			Ŭ	Ň	APR 2023	1:100@A3	J.M	C.M		7636
	ELECTRICAL PLANS									
						NEW H	OUSE			:01
	LOT 20301 VIOLA STREET,									
	DONNYBROOK REV-								REV-	



DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

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