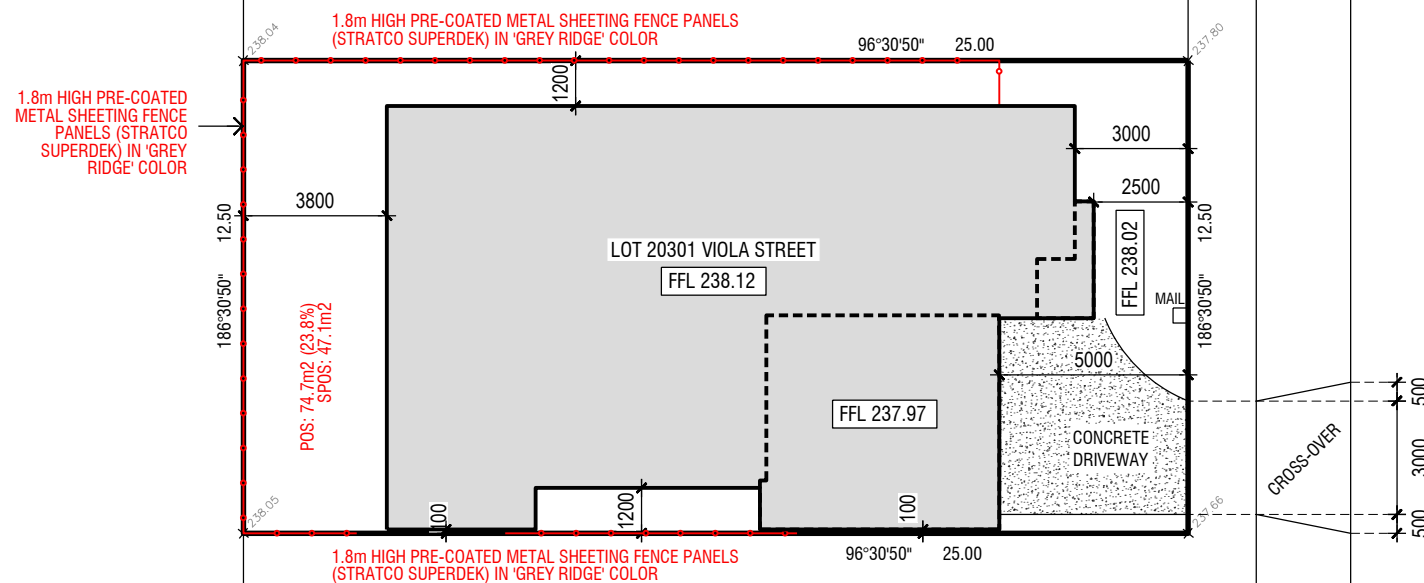


LOT 20303
VACANT BLOCK (AS OF 17.07.2023)
SIZE: 350m2

LOT 20302
VACANT BLOCK (AS OF 17.07.2023)
SIZE: 263m2

FUTURE SUBDIVISION
VACANT BLOCK (AS OF 17.07.2023)

VIOLA STREET



A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

ALL SETBACKS ARE TAKEN TO TITLE BOUNDARIES

SIDE AND REAR FENCING TO BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR
DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT
FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

LEGEND

	BRICKWORK
	BRICK-VENEER WALL
	STRUCTURAL BLOCKWORK RETAINING WALL - REF ENG
	TIMBER STUD FRAMING (PROVIDE 6mm FIBRE CEMENT SHEETING ON ALL UPPER FLOORS)
VG	400w x 150d VALLEY GUTTER

AJ.	ARTICULATION JOINTS
BG	300w x 150d BOX GUTTER
RH	RAINWATER HEAD
dp	DOWN PIPE
dpS	DOWN PIPE WITH SPREADER
FW	FLOOR WASTE
	EXHAUST FAN TO EXTERNAL AIR 10m ³ /Hr
	SMOKE ALARM

HWS	HOT WATER SERVICE
LOH	LIFT OFF HINGES
TILE.	SELECTED TILE FLOORING
FB.	SELECTED TIMBER FLOORING
CP.	SELECTED CARPET
TD.	SELECTED TIMBER DECKING
BEAM.	BEAM TO ENGINEERS DESIGN & SPECIFICATION
KL.	KLIP-LOK ROOFING AT 2° MIN PITCH
TR.	TILE ROOFING PITCH VARIES



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SETOUT PLAN

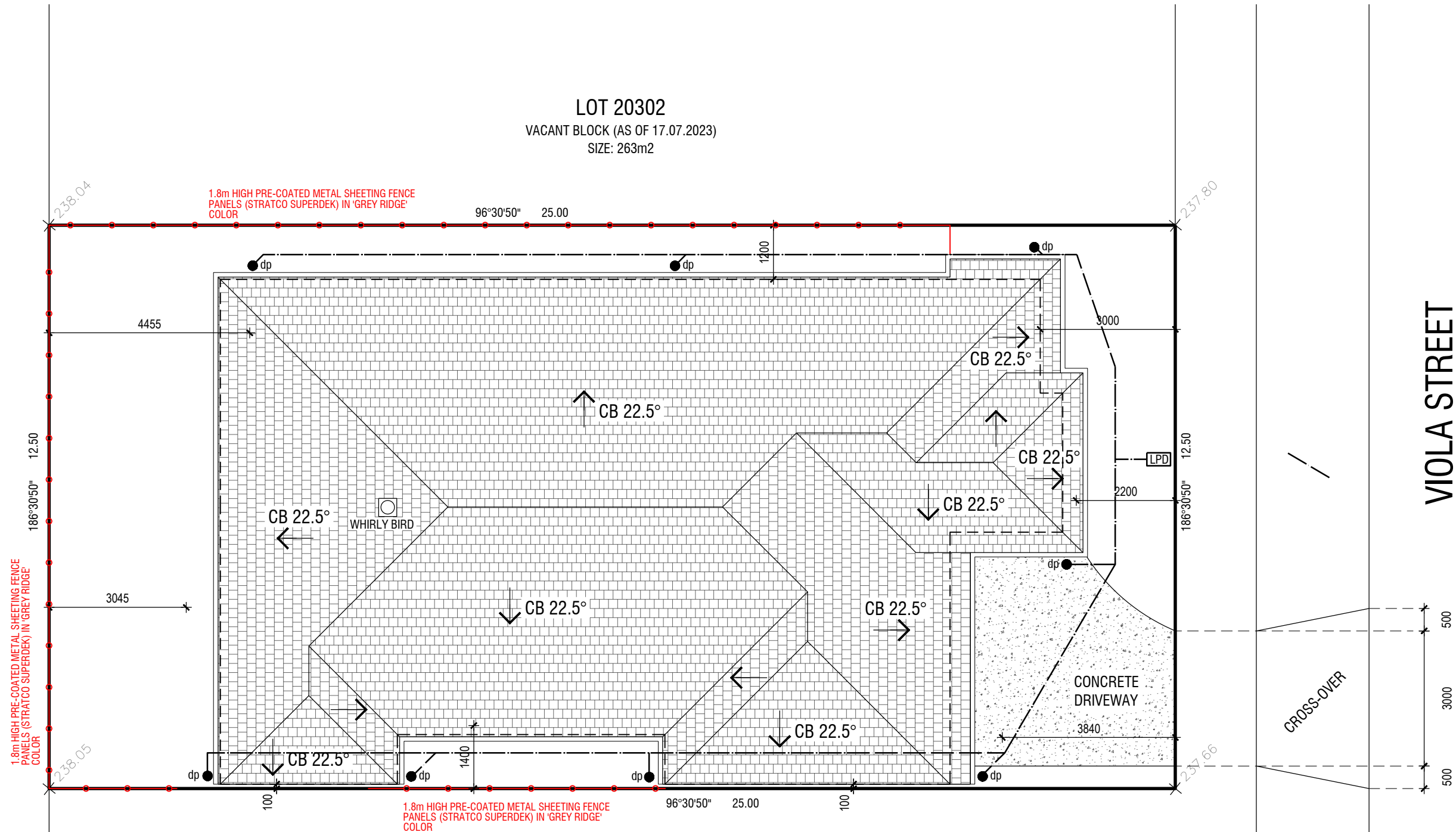
NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

A02
REV-

LOT 20302
VACANT BLOCK (AS OF 17.07.2023)
SIZE: 263m2

FUTURE SUBDIVISION
VACANT BLOCK (AS OF 17.07.2023)

VIOLA STREET



FUTURE SUBDIVISION
VACANT BLOCK (AS OF 17.07.2023)

SIDE AND REAR FENCING TO BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR

DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

LEGEND

- TIMBER STUD FRAMING
- BRICKWORK
- HEBEL WALL SYSTEM
- 400w x 150d VALLEY GUTTER

- AJ. ARTICULATION JOINTS
- BG. 300w x 150d BOX GUTTER
- RH. RAINWATER HEAD
- dp. DOWN PIPE
- dpS. DOWN PIPE WITH SPREADER
- FW. FLOOR WASTE
- EXHAUST FAN TO EXTERNAL AIR 10m³/Hr
- SMOKE ALARM

- HWS. HOT WATER SERVICE
- LOH. LIFT OFF HINGES
- TILE. SELECTED TILE FLOORING
- FB. SELECTED TIMBER FLOORING
- CP. SELECTED CARPET
- TD. SELECTED TIMBER DECKING
- BEAM. BEAM TO ENGINEERS DESIGN & SPECIFICATION
- KL. KLIP-LOK ROOFING AT 2° MIN PITCH
- TR. TILE ROOFING PITCH VARIES



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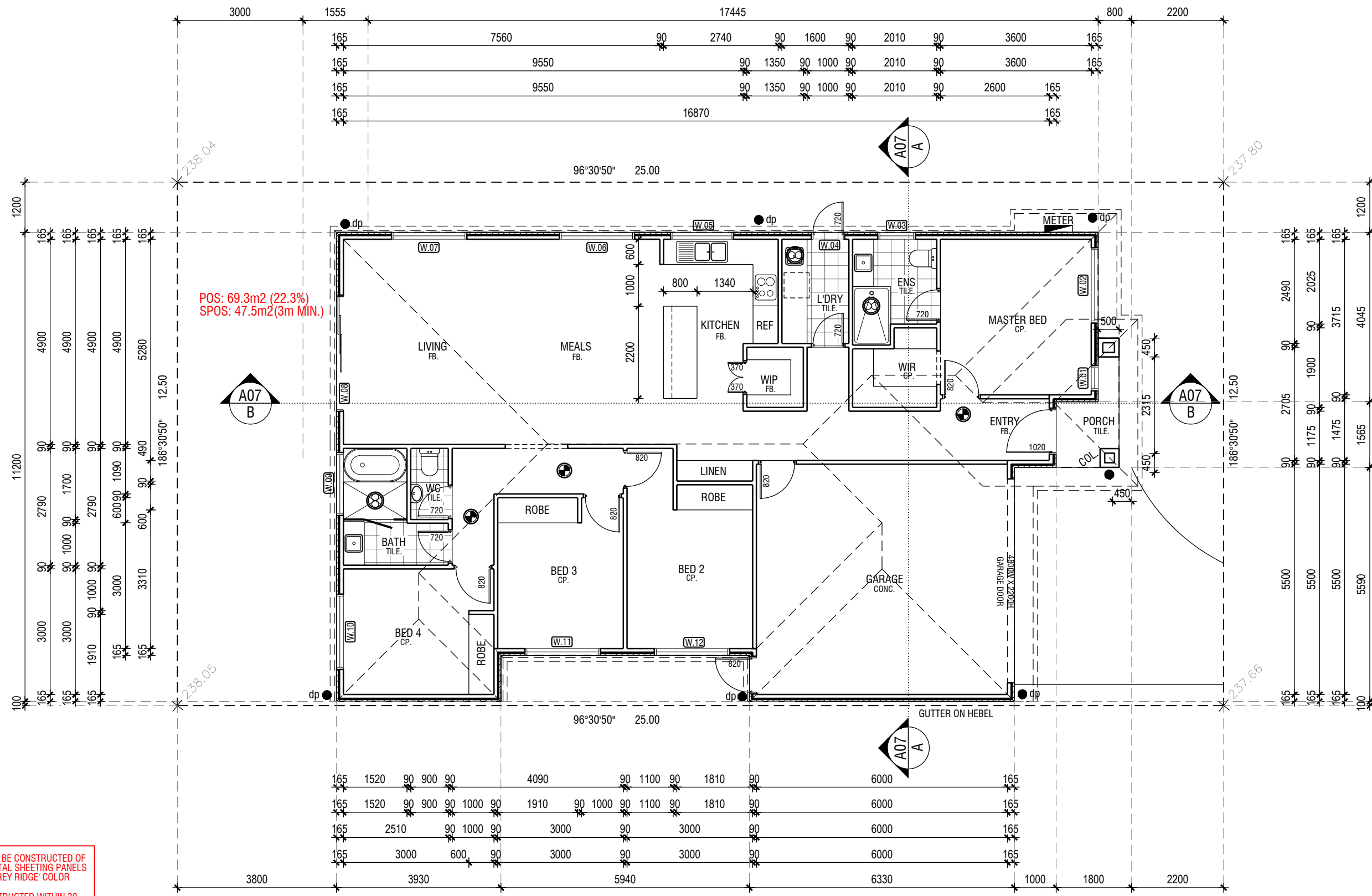
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SITE/ ROOF PLAN

NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

A03
REV-



SIDE AND REAR FENCING TO BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR

DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

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A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

LEGEND

	TIMBER STUD FRAMING
	BRICKWORK
	HEBEL WALL SYSTEM
	400w x 150d VALLEY GUTTER

AJ.	ARTICULATION JOINTS
BG	300w x 150d BOX GUTTER
RH	RAINWATER HEAD
dp	DOWN PIPE
dpS	DOWN PIPE WITH SPREADER
FW	FLOOR WASTE
	EXHAUST FAN TO EXTERNAL AIR 10m ³ /Hr
	SMOKE ALARM

HWS	HOT WATER SERVICE
LOH	LIFT OFF HINGES
TILE.	SELECTED TILE FLOORING
FB.	SELECTED TIMBER FLOORING
CP.	SELECTED CARPET
TD.	SELECTED TIMBER DECKING
BEAM.	BEAM TO ENGINEERS DESIGN & SPECIFICATION
KL.	KLIP-LOK ROOFING AT 2° MIN PITCH
TR.	TILE ROOFING PITCH VARIES



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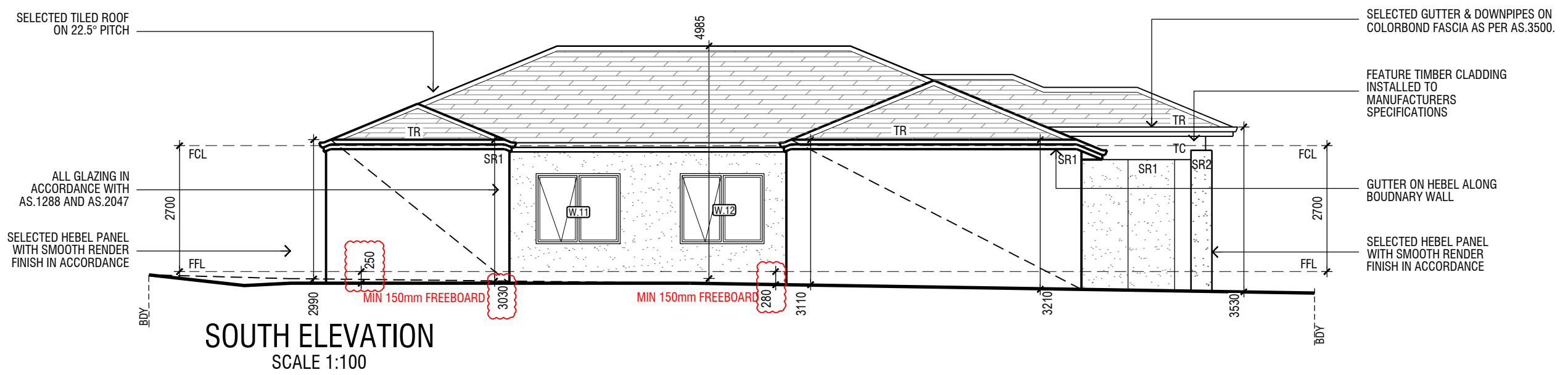
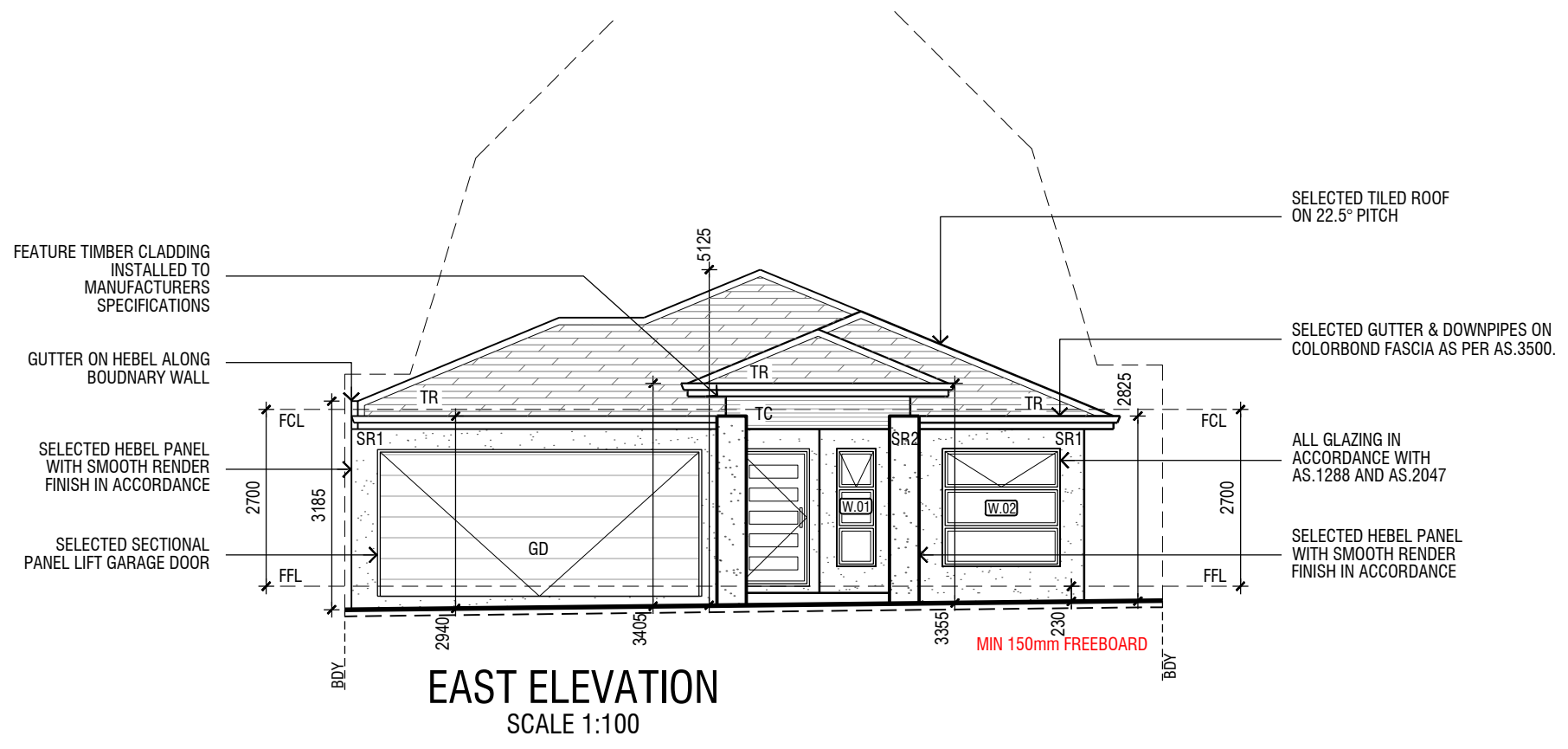
GROUND FLOOR PLAN

NEW HOUSE
 LOT 20301 VIOLA STREET,
 DONNYBROOK

A04
 REV-

MATERIAL SCHEDULE:

SR1	SMOOTH RENDER FINISH
SR2	SMOOTH RENDER FINISH
TC	TIMBER LOOK CLADDING IN STAINED OR SIMILAR FINISH
GD	SELECTED SECTIONAL GARAGE DOOR
TP	1.8m HIGH TIMBER PAILING FENCE
TR	SELECTED TILED ROOF AT 22.5 DEGREE PITCH
ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH	
COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT	



ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019

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ELEVATIONS

NEW HOUSE
 LOT 20301 VIOLA STREET,
 DONNYBROOK

A05
 REV-

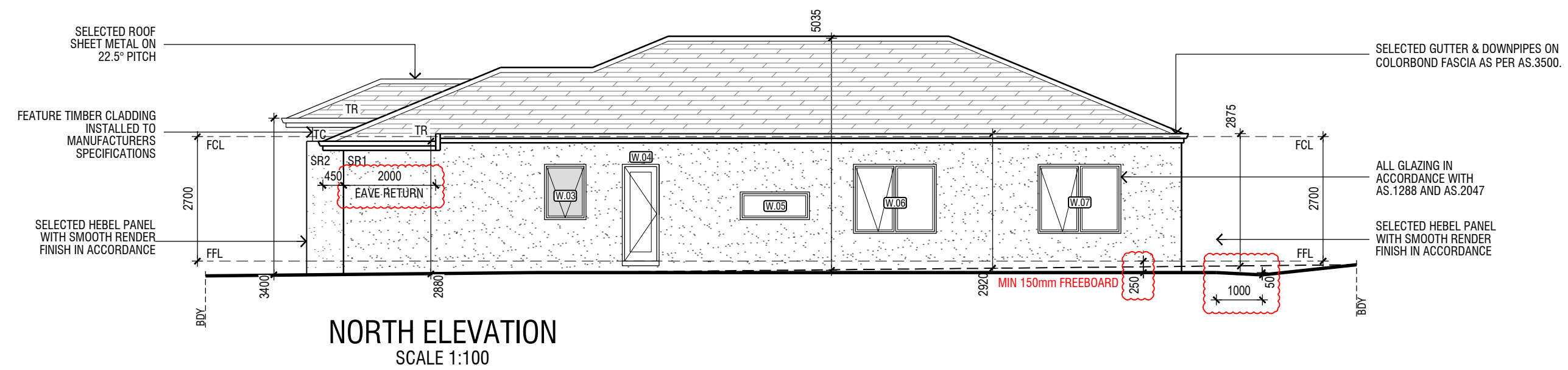
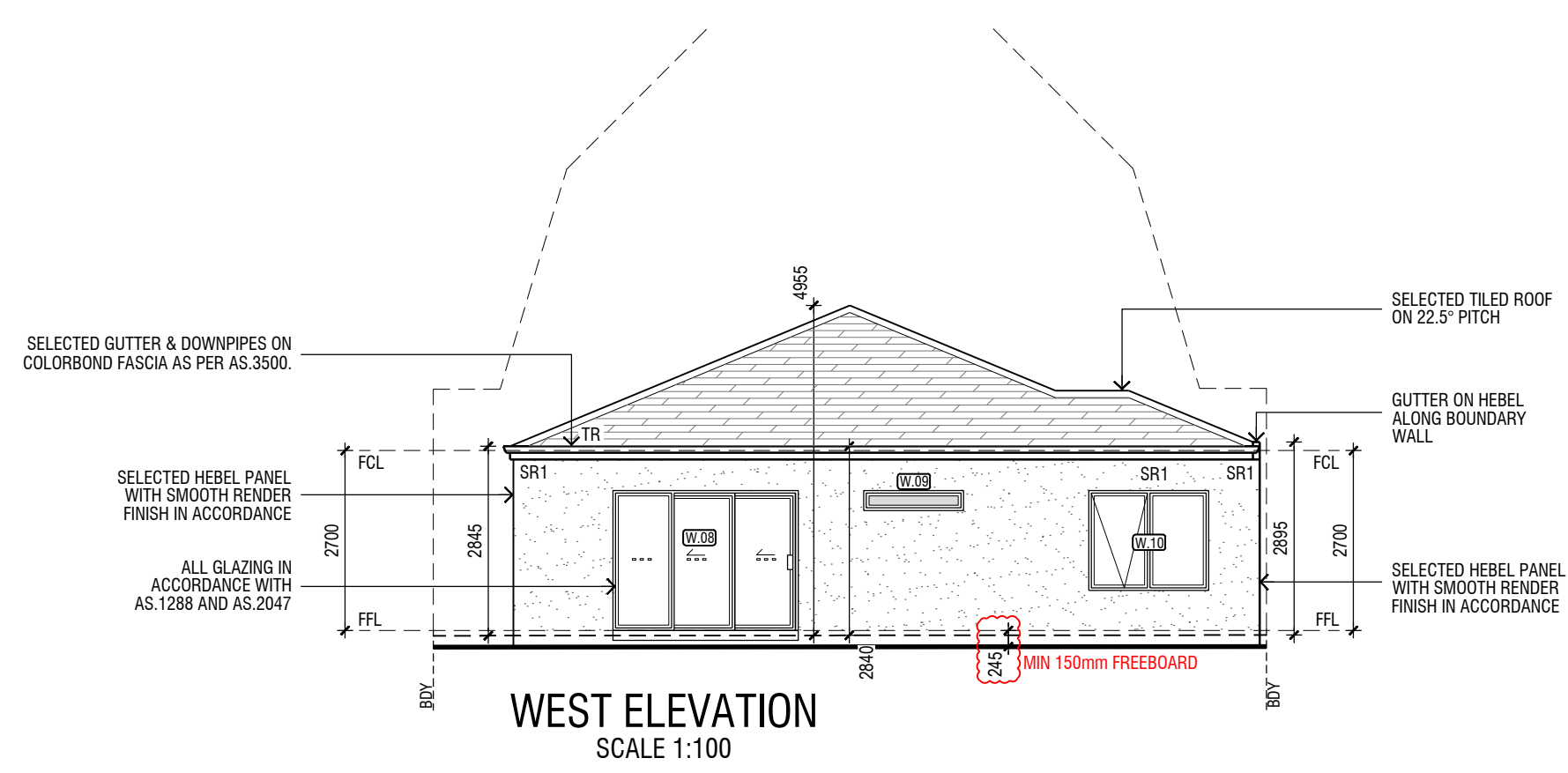
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MATERIAL SCHEDULE:

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SR2	SMOOTH RENDER FINISH
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ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH

COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT



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ELEVATIONS

NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

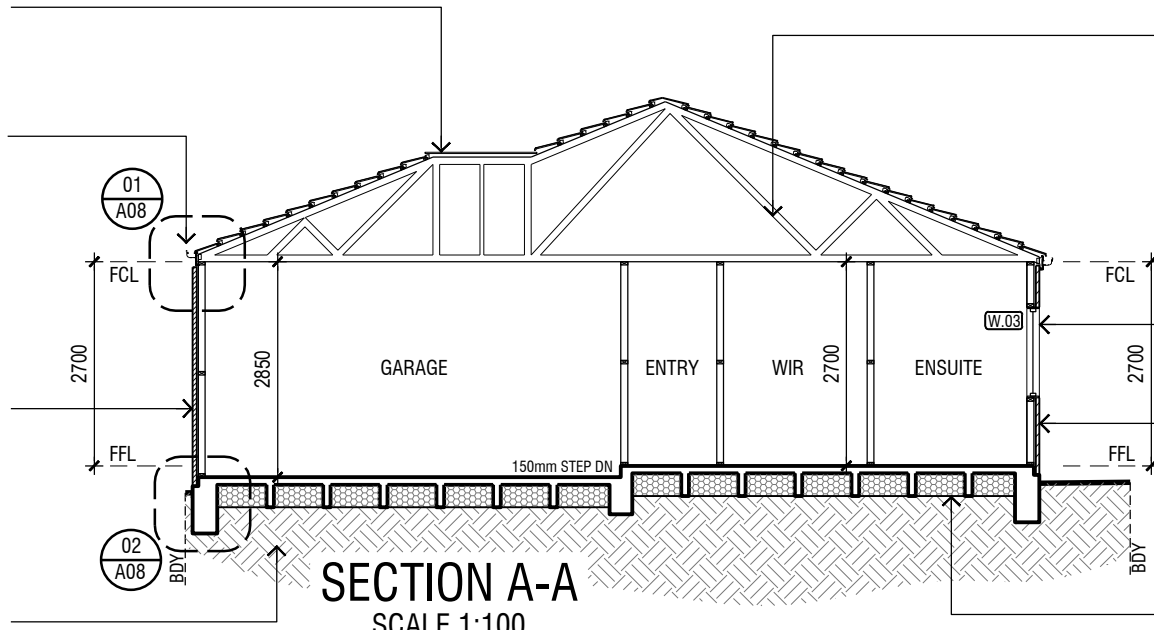
A06
REV-

SELECTED TILED ROOF PITCHED AT 22° IN ACCORDANCE WITH BCA 3.5.1

SELECTED GUTTER & DOWNPIPES ON COLORBOND FASCIA AS PER AS.3500.

50mm HEBEL PANEL CLADDING WITH SMOOTH RENDER FINISH IN ACCORDANCE

SOIL CLASSIFICATION AS PER SOIL REPORT



SECTION A-A
SCALE 1:100

ROOF TRUSS TO MANUFACTURER'S SPECIFICATIONS

SELECTED GLAZING IN ACCORDANCE WITH AS.1288

50mm HEBEL PANEL CLADDING WITH SMOOTH RENDER FINISH IN ACCORDANCE

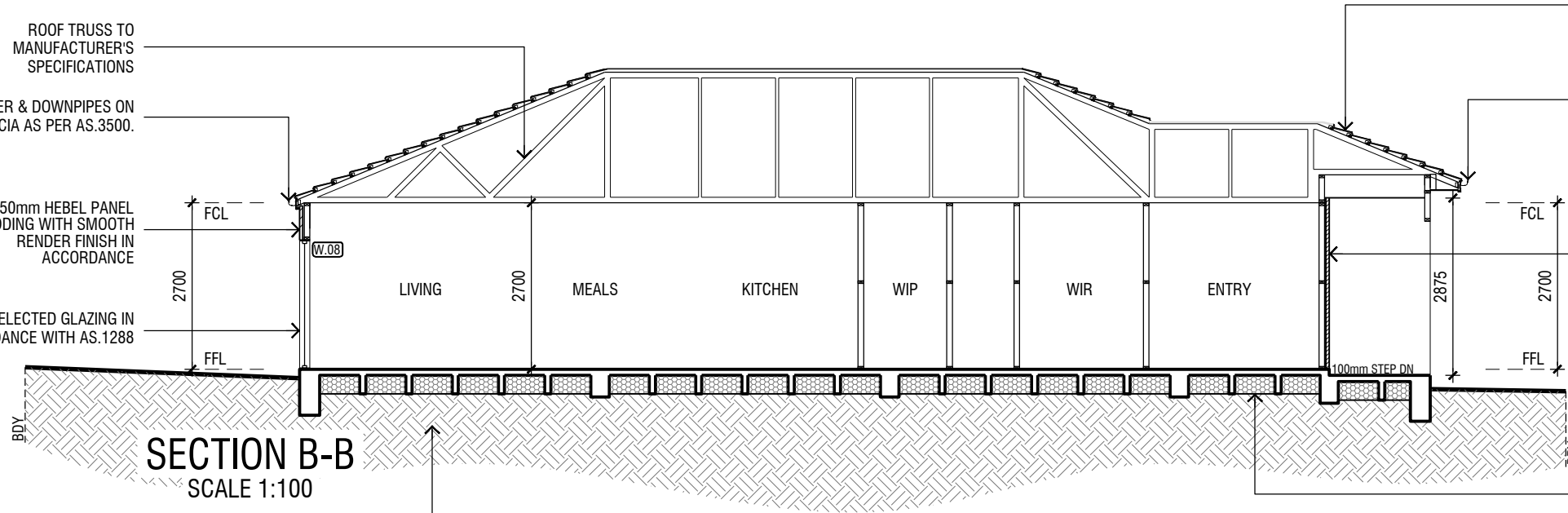
WAFFLE SLAB AS PER ENGINEERS DESIGN AND SPECIFICATIONS. REFER TO ENGINEERS DRAWING AND COMPUTATIONS. BORED PIERS TO ENGINEERS SPECIFICATIONS IF REQUIRED TO REMAIN ABOVE ANGLE OF REPOSE

ROOF TRUSS TO MANUFACTURER'S SPECIFICATIONS
SELECTED GUTTER & DOWNPIPES ON COLORBOND FASCIA AS PER AS.3500.

50mm HEBEL PANEL CLADDING WITH SMOOTH RENDER FINISH IN ACCORDANCE

SELECTED GLAZING IN ACCORDANCE WITH AS.1288

SOIL CLASSIFICATION AS PER SOIL REPORT



SECTION B-B
SCALE 1:100

SELECTED TILED ROOF PITCHED AT 22° IN ACCORDANCE WITH BCA 3.5.1

SELECTED GUTTER & DOWNPIPES ON COLORBOND FASCIA AS PER AS.3500.

50mm HEBEL PANEL CLADDING WITH SMOOTH RENDER FINISH IN ACCORDANCE

WAFFLE SLAB AS PER ENGINEERS DESIGN AND SPECIFICATIONS. REFER TO ENGINEERS DRAWING AND COMPUTATIONS. BORED PIERS TO ENGINEERS SPECIFICATIONS IF REQUIRED TO REMAIN ABOVE ANGLE OF REPOSE

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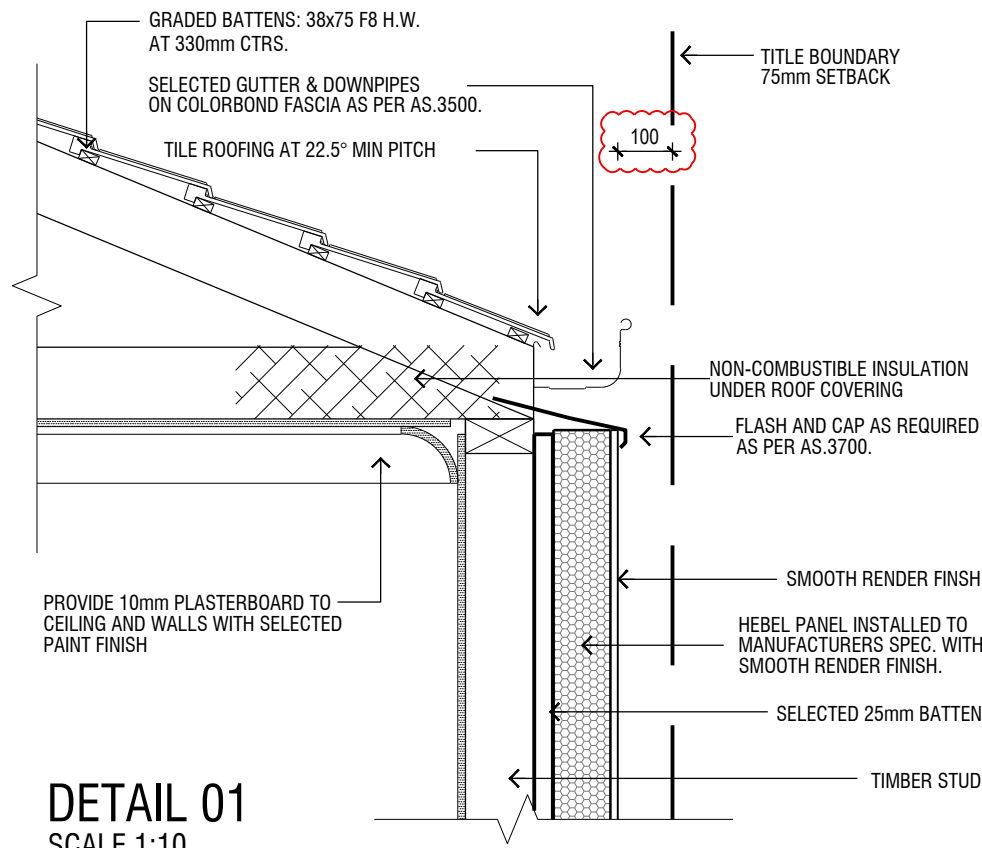
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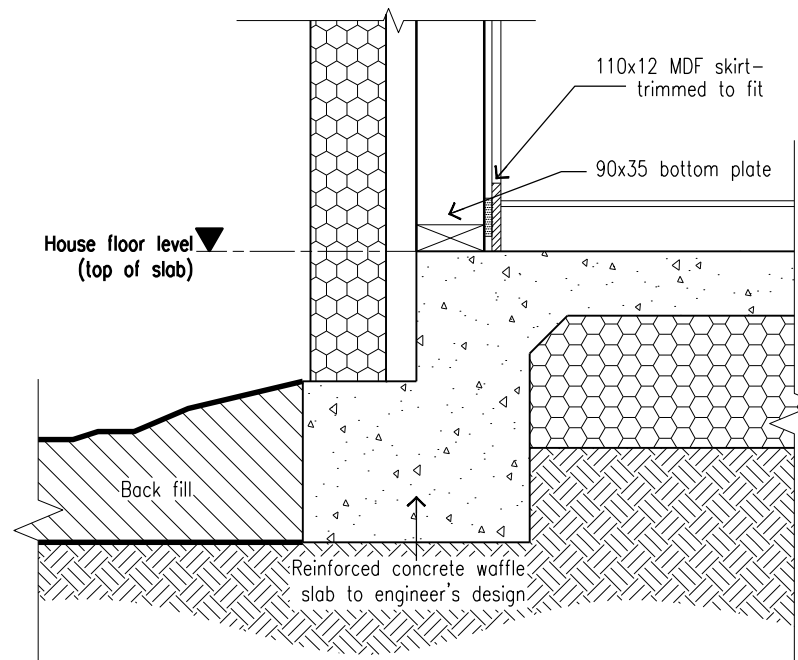
SECTIONS

NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

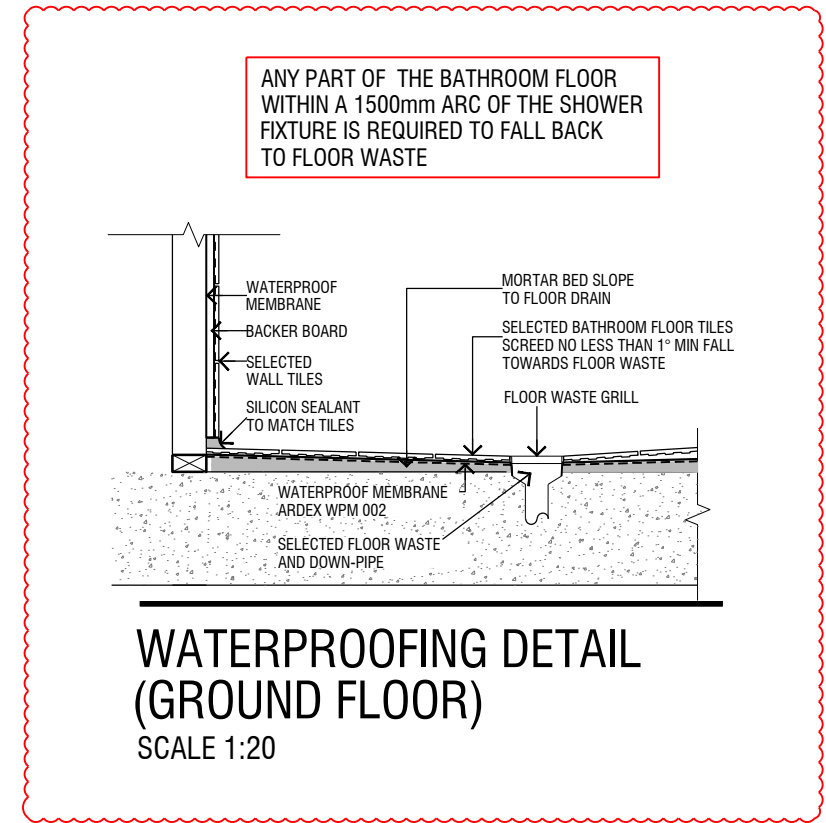
A07
REV-



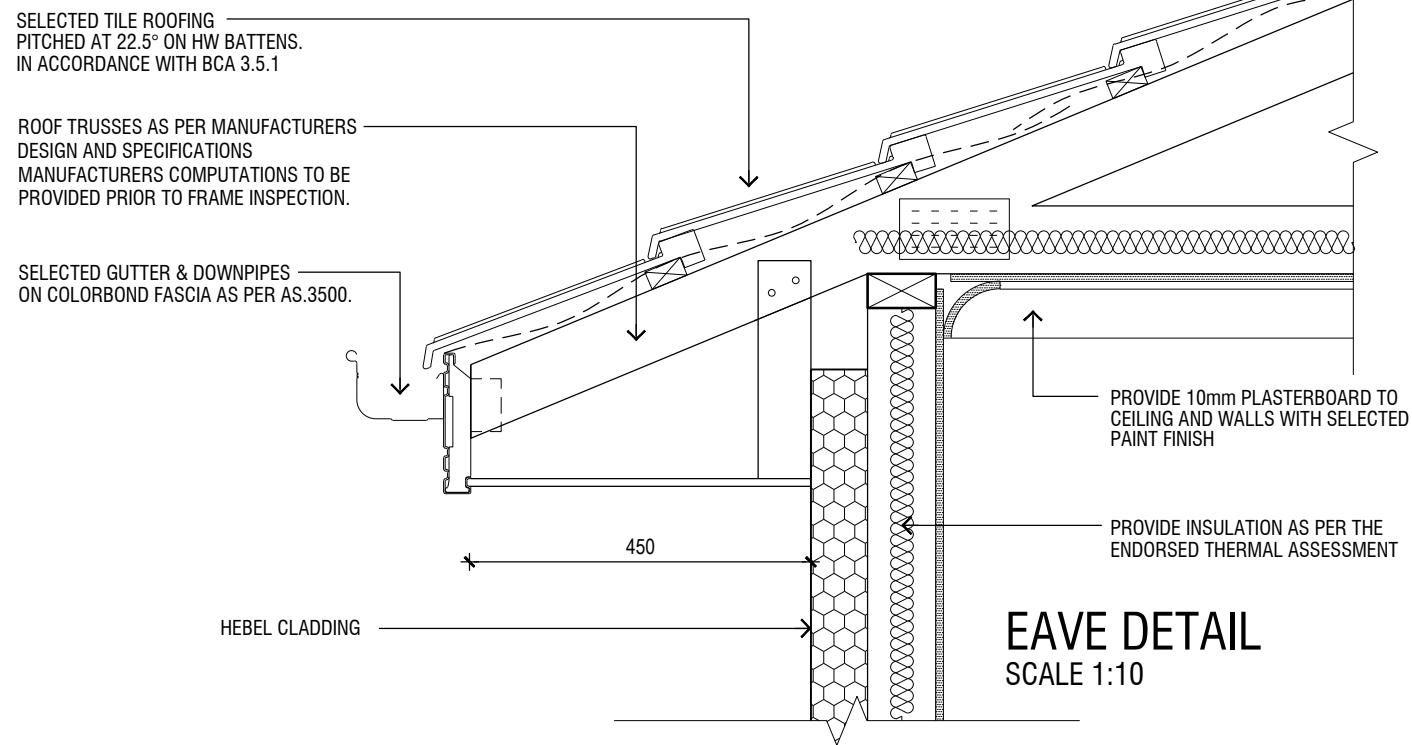
DETAIL 01
SCALE 1:10



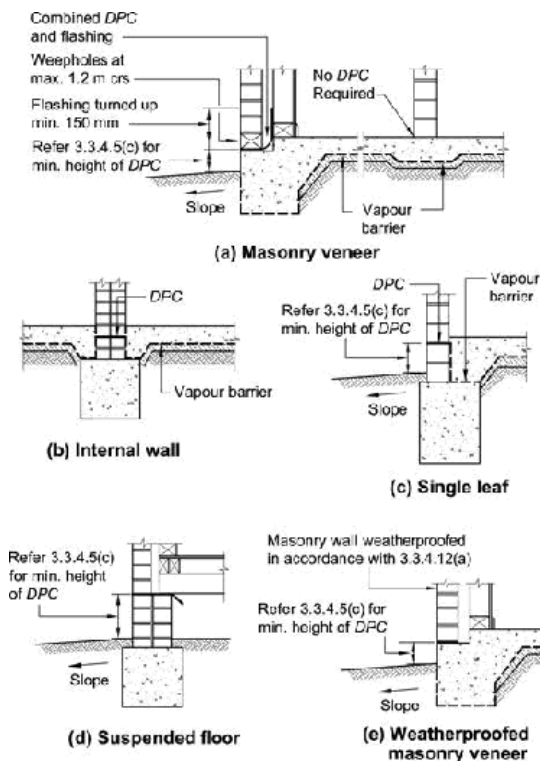
DETAIL 02
SCALE 1:10



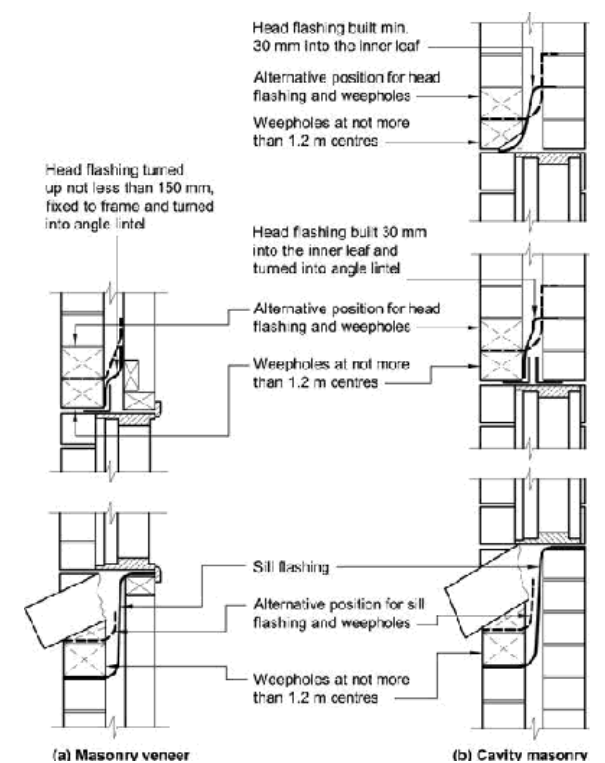
WATERPROOFING DETAIL (GROUND FLOOR)
SCALE 1:20



EAVE DETAIL
SCALE 1:10



TYPICAL DETAILS BCA FIGURE 3.3.4.1
LOCATION OF DPCs AND FLASHINGS IN SUB-FLOOR STRUCTURES



TYPICAL DETAILS BCA FIGURE 3.3.4.5
INSTALLATION OF SILL AND HEAD FLASHINGS

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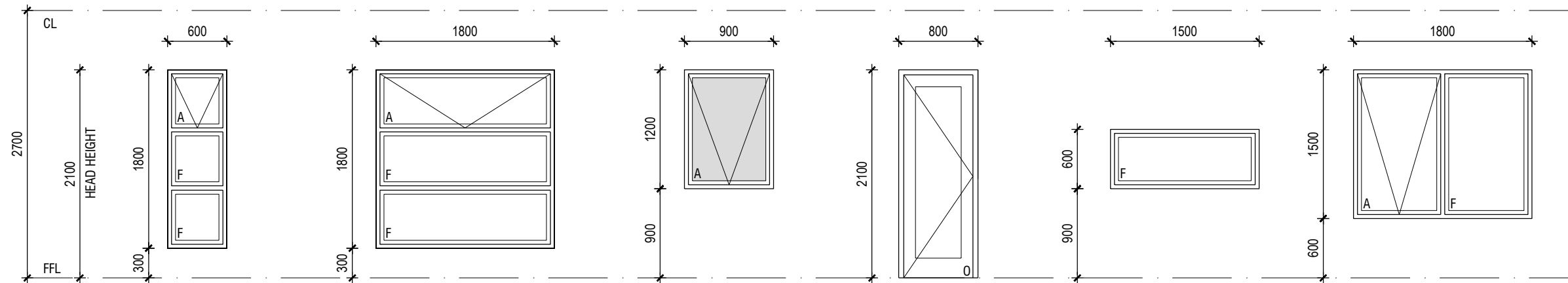
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DETAILS

NEW HOUSE
 LOT 20301 VIOLA STREET,
 DONNYBROOK

A08
 REV-



MASTER BED
W.01
AWNING WINDOW
ALUMINUM FRAMED

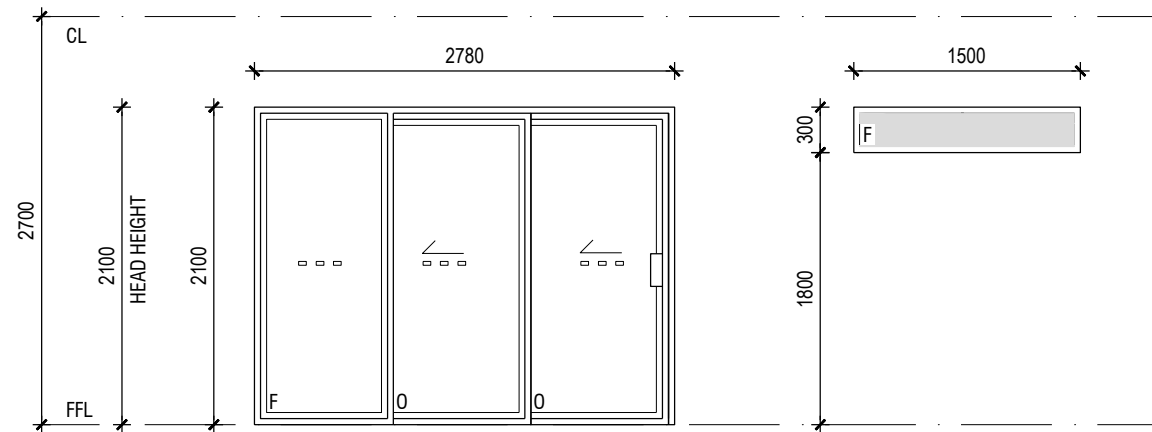
MASTER BED
W.02
AWNING WINDOW
ALUMINUM FRAMED

ENSUITE
W.03
AWNING WINDOW
ALUMINUM FRAMED
OBSCURED

LAUNDRY
W.04
GLAZED HINGED DOOR
ALUMINUM FRAMED
SIDE HUNG

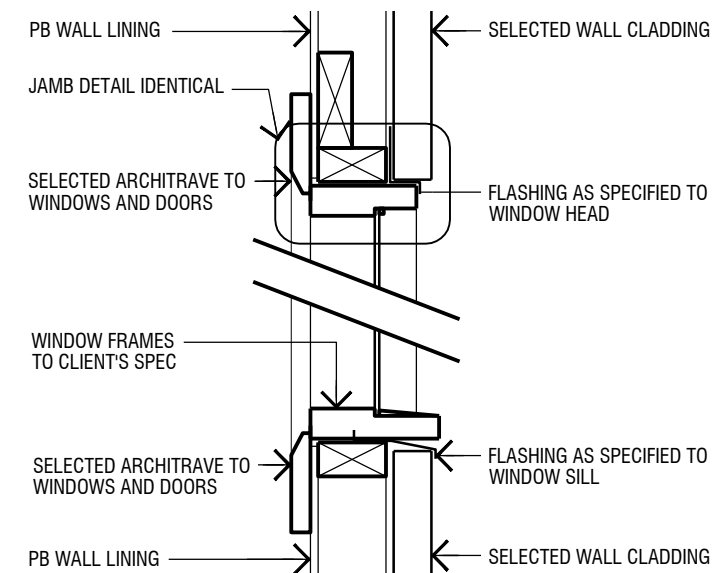
KITCHEN
W.05
FIXED WINDOW
ALUMINUM FRAMED

MEALS, LIVING, BED 4, BED 3, BED 2
W.06, W.07, W.10, W.11, W.12
AWNING WINDOW
ALUMINUM FRAMED



LIVING
W.08
GLAZED SLIDING DOOR
ALUMINUM FRAMED
2 DOORS SLIDING, 1 FIXED

W/C
W.09
FIXED WINDOW
ALUMINUM FRAMED
OBSCURED



TYPICAL WINDOW DETAIL
SCALE 1:10

NOTE:
WINDOW MEASUREMENTS INDICATED MAY VARY FROM MANUFACTURED SIZES.
BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER
WITH STANDARD SIZES THAT MATCH THE ABOVE MEASUREMENTS
WITHIN CLOSE PROXIMITY
BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CONFLICT
WITH EAVE DETAILS PRIOR TO ORDERING ROOF STRUCTURE
WINDOW SIZES TO BE VERIFIED ON SITE PRIOR TO PLACING
ORDER WITH MANUFACTURER
ANY DISCREPANCIES PLEASE CONTACT OFFICE IMMEDIATELY

ALL GLAZING MUST COMPLY WITH AS 1288 AND ALL INSTALLATION MUST COMPLY WITH AS 2047
'OBS' DENOTES A WINDOW WHICH IS OBSCURED, FROSTED OR TRANSLUCENT - CONFIRM WITH CLIENT
'CHK' DENOTES A MEASUREMENT WHICH NEEDS TO BE CONFIRMED ON SITE PRIOR TO ORDERING
'a.f.l' DENOTES A MEASUREMENT ABOVE THE FINISHED FLOOR LEVEL.
'REST' DENOTES A WINDOW WHICH HAS RESTRICTED OPENNABILITY OF 120mm MAX
WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE.
REFER TO APPROVED ENERGY REPORT FOR REQUIREMENTS

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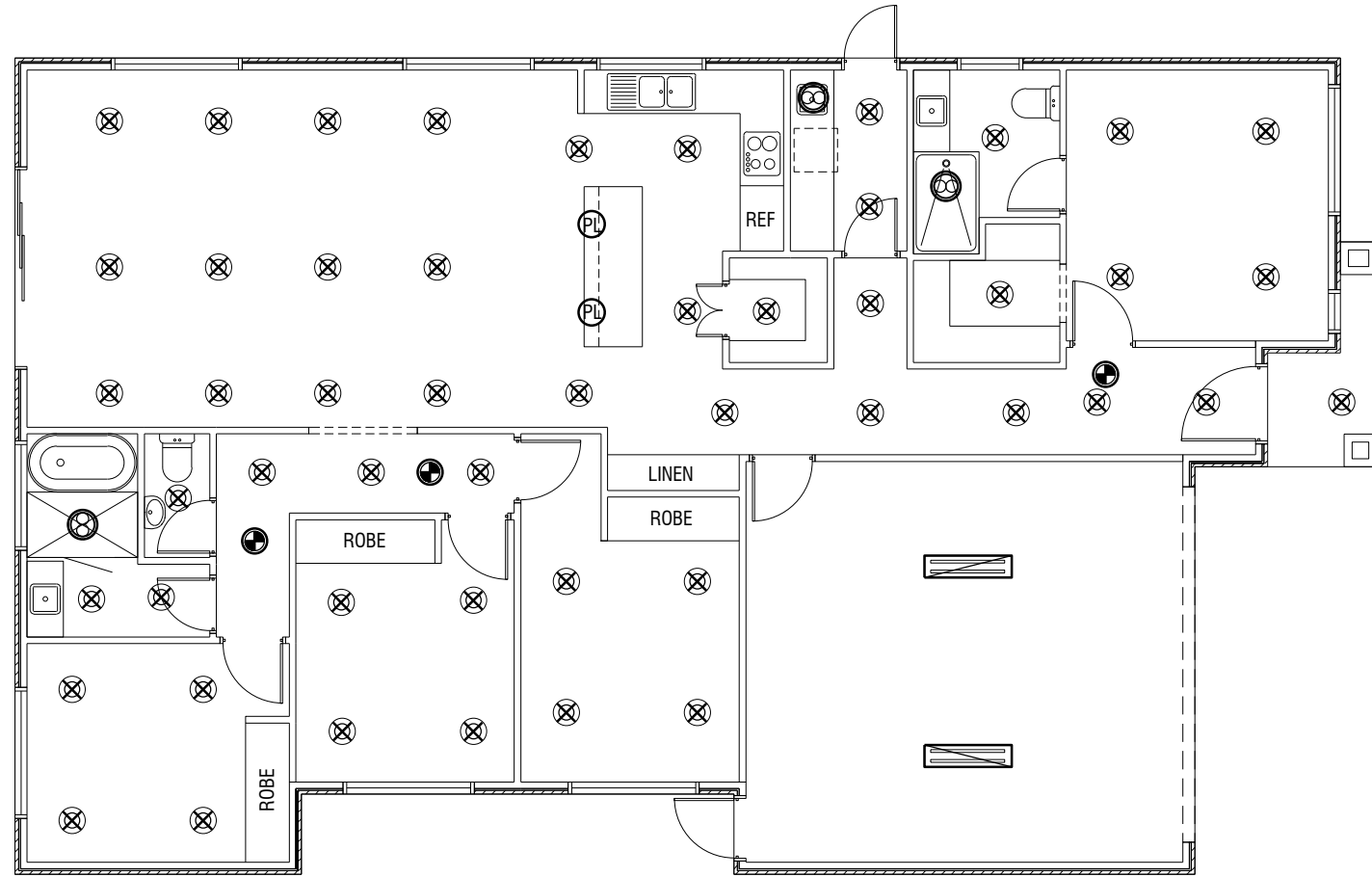
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WINDOW SCHEDULE

NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

A09
REV-



-  SMOKE DETECTOR
-  EXHAUST FAN TO EXTERNAL
AIR 10m³/Hr
-  EXTERIOR FLOOD LIGHT - 150 WATT MAX
-  LOW VOLTAGE IC-4 DOWN LIGHT - 10 WATT MAX
-  WALL MOUNTED LIGHT - 20 WATT MAX
-  PENDANT LIGHT POINT - 25 WATT MAX
-  FLUORESCENT LIGHT - 50 WATT MAX

NOTES:

- PROVIDE LIGHT AND POWER WITHIN ROOF SPACE NEAR ACCESS POINT FOR HEATER AND FUTURE COOLING UNIT. CONFIRM HEATER LOCATION.
- PROVIDE POWER FOR DUCTED VACUUM SYSTEM, INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE INSTALLATION OF ALARM UNIT AND SENSORS, INCLUDING POWER AND PHONE CONNECTION AT MAIN UNIT - LOCATION TO BE ADVISED BY CLIENT.
- PROVIDE SEPARATE CIRCUITS FOR KITCHEN APPLIANCES,

HEATING AND COOLING UNITS, GARAGE POWER POINTS, POOL EQUIPMENT, OUTDOOR POWER POINTS, LIGHTING AND LAUNDRY.

- SUPPLY AND INSTALL TV ANTENNA TO MANUFACTURERS SPECIFICATION WITH CONNECTION TO ALL NOMINATED POINTS. INSURE POWER POINT AT EACH TV ANTENNA LOCATION.
- SUPPLY POWER POINT TO DISHWASHER LOCATION, COOKTOP, WALL OVEN, RANGEHOOD, FRIDGE RECESS, WASHING MACHINE AND APPLIANCE CUPBOARD LOCATIONS.

- PROVIDE POWER FOR HOT WATER SERVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE POWER FOR WATER TANK PUMP SYSTEMS AT TANK LOCATION.
- PROVIDE POWER TO THE GARAGE CEILING FOR AUTOMATIC DOOR UNIT AND ROOF TOP STORAGE AREA.
- PROVIDE POWER FOR SPA BATH PUMP.

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LIGHTING POWER DENSITY

CALCULATIONS BASED ON GENERAL WATTAGES AND NUMBER OF INDIVIDUAL INTERNAL LIGHTING FIXTURES AS PER THE ENDORSED ELECTRICAL PLAN.

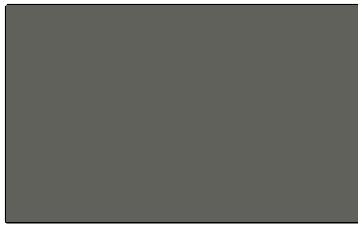
TOTAL HABITABLE AREA (5w/m ²): <small>(TOTAL BASEMENT, GROUND AND FIRST FLOORS)</small>	148.1 M ²
MAXIMUM LIGHTING POWER:	740.5 WATTS
TOTAL HABITABLE LIGHTING POWER:	540.0 WATTS
TOTAL PORCH, ALFRESCO (4w/m ²)	
TOTAL NON-HABITABLE AREA:	4.0 M ²
MAXIMUM LIGHTING POWER:	16.0 WATTS
TOTAL NON-HABITABLE LIGHTING POWER:	10.0 WATTS
TOTAL GARAGE (3w/m ²)	
TOTAL NON-HABITABLE AREA:	35.3 M ²
MAXIMUM LIGHTING POWER:	105.9 WATTS
TOTAL NON-HABITABLE LIGHTING POWER:	100.0 WATTS

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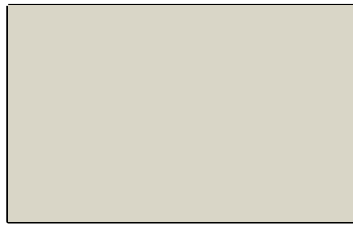
ELECTRICAL PLANS

NEW HOUSE
 LOT 20301 VIOLA STREET,
 DONNYBROOK

E01
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SMOOTH RENDER SR1:
COLORBOND: WOODLAND GREY



SMOOTH RENDER SR2:
COLORBOND: SURFMIST



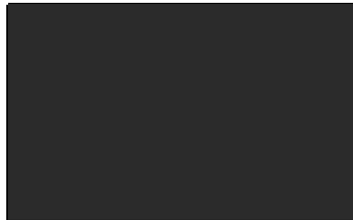
WINDOWS:
ALUMINIUM: MONUMENT FRAME
WITH CLEAR GLASS



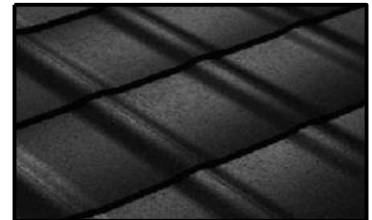
TIMBER CLADDING:
MERBAU TIMBER CLADDING
STAINED NATURAL



DRIVEWAY:
CHARCOAL COLOURED CONCRETE



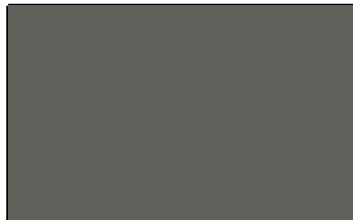
FASCIA:
ALUMINIUM: MONUMENT GUTTER
& DOWNPIPES



ROOF:
SELECTED TILED ROOF AT 22.5
DEGREE PITCH IN CHARCOAL FINISH



GARAGE DOOR:
TIMBER LOOK SECTIONAL GARAGE
DOOR IN "BLUSHED TEAK" FINISH



METER BOX:
COLORBOND: WOODLAND GREY



COLORBOND FENCE:
1.8mH PRE-COATED METAL SHEETING
PANELS (STRATCO SUPERDEK) IN
'GREY RIDGE' COLOUR

MATERIAL SCHEDULE:

- SR1 SMOOTH RENDER FINISH IN COLORBOND WOODLAND GREY
- SR2 SMOOTH RENDER FINISH IN COLORBOND SURFMIST
- TC TIMBER LOOK CLADDING IN STAINED OR SIMILAR FINISH
- GD SELECTED SECTIONAL GARAGE DOOR IN TIMBER LOOK FINISH
- TP 1.8m HIGH TIMBER PAILING FENCE
- TR SELECTED TILED ROOF AT 22.5 DEGREE PITCH IN CHARCOAL FINISH

ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH

COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT

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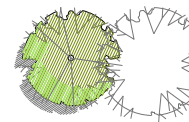
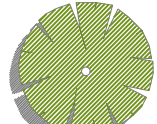
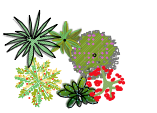


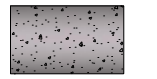
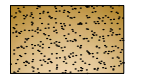
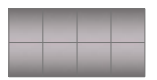

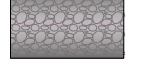
COLOUR SCHEDULE

NEW HOUSE
LOT 20301 VIOLA STREET,
DONNYBROOK

CS01
REV _



LEGEND

-  PROPOSED EVERGREEN TREES
-  PROPOSED DECIDUOUS TREES
-  PROPOSED EVERGREEN SHRUBS
-  EXISTING TREES TO BE RETAINED AND PROTECTED
-  PROPOSED LAWN AREAS
-  PROPOSED CONCRETE DRIVEWAY
-  PROPOSED TOPPING AREAS
-  PROPOSED PERMEABLE PAVERS
-  PROPOSED PAVER STEP-STONES
-  PROPOSED PEBBLES AREAS

PLANT SCHEDULE

	CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
SHRUBS	DP	DODONAEA VISCOSA SUBSP. PURPUREA	PURPLE HOP BUSH	2	20cm POT	3m X 2m
	SAB	SYZIGIUM AUSTRALE 'BUSH CHRISTMAS'	BUSH CHRISTMAS LILLY PILLY	9	20cm POT	1.5m X 1m
	WFJ	WESTRINGIA FRUTICOSA 'JERVIS GEM'	COMPACT COSTAL ROSEMARY	7	20cm POT	1m X 1m
GROUND COVERS & LOW SHRUBS	DL	DIANELLA LONGIFOLIA	SMOOTH FLAX LILY	40	14cm POT	.8m X .6m
	DCC	DIANELLA CAERULA "CASSA BLUE"	CASSA BLUE FLAX LILLY	54	14cm POT	0.4m X 0.4m

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Revisions		
REV-	12.04.2023	ISSUE FOR TENDER, NOT CONSTRUCTION
REV-	11.07.2023	ISSUE FOR CONSTRUCTION

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LANDSCAPE PLAN

NEW HOUSE
 LOT 20301 VIOLA STREET,
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LP01
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