

**GENERAL NOTES:**

THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BYLAWS AND TOWN PLANNING REQUIREMENTS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF PLANNING AND DESIGN, FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF PLANNING AND DESIGN DOES SO AT THEIR OWN RISK - AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY PLANNING AND DESIGN OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT, AND WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE THIS DRAWING - FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS AND CONTRACTORS TO VERIFY ALL DIMENSIONS, LEVELS, BUILDING ENVELOPES, AREAS AND SPECIFICATIONS PRIOR TO THE ORDERING OF ANY MATERIALS OR THE COMMENCEMENT OF ANY WORKS. IF DISCREPANCIES OCCUR - CONTACT THIS OFFICE IMMEDIATELY.

-ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED. ALL SITE LEVELS ARE IN METERS, UNLESS OTHERWISE INDICATED.

-THE BUILDER MUST TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING STRUCTURES DURING ALL CONSTRUCTION WORKS.

-THE BUILDER MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF ALL PERSONS WITHIN THE BUILDING SITE.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS.

WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

**BCA AND STANDARDS - GENERAL**

ALL WORKS SHALL COMPLY WITH THE BCA 2019 AND NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARD:

- A.S 1288-2006** - GLASS IN BUILDINGS SELECTIONS AND INSTALLATIONS
- A.S 1562-2018** - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL
- A.S 1684.2-2010** - NATIONAL TIMBER FRAMING CODE
- A.S 1860-2006** - INSTALLATION OF PARTICLEBOARD FLOORING
- A.S 2047-2014** - WINDOWS IN BUILDINGS SELECTIONS AND INSTALLATIONS
- A.S 2049-2002** - ROOF TILES
- A.S 2050-2002** - INSTALLATION OF ROOFING TILES
- A.S 2870-2011** - RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
- A.S 2904-1995** - DAMP PROOF COURSES AND FLASHINGS
- A.S 3600-2016** - CONCRETE STRUCTURES
- A.S 3660.1-2017** - PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART1 NEW BUILDINGS
- A.S 3700-2018** - MASONRY STRUCTURES
- A.S 3740-2010 & BCA PART 3.8.1** - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- A.S 3786-2014** - SMOKE ALARMS
- A.S 4100-1998** - STEEL STRUCTURES
- A.S 4256-1996** - PLASTIC ROOF AND WALL CLADDING MATERIALS

**GENERAL**

1. ARCHITECTURAL PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, DRAWINGS, AND SOIL REPORTS
  2. FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT
  3. FOOTINGS NOT TO ENCRROACH TITLE BOUNDARIES AND EASEMENT LINES
  4. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
  5. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
- GLAZING:**  
GLAZING SHALL COMPLY WITH AS1288-2006 & AS2047 WITH SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
1. ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR
  2. BATHROOMS WITHIN 1500MM VERTICAL FROM THE BATH BASE
  3. LAUNDRY WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ALL DOORS
  4. DOORWAY WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS
- ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

**STRUCTURAL REQUIREMENTS:**

- NO FOOTINGS ARE TO ENCRROACH TITLE BOUNDARIES AND EASEMENT LINES. ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS.3600.
- ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA.
- ALL DAMP PROOF COURSES AND FLASHING MUST BE IN ACCORDANCE WITH AS.2904.
- STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100.
- ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm.
- PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684.
- SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLINTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.
- CONVENTIONAL TIMBER FLOOR CONSTRUCTION TO ENGINEERS DETAILS & COMPUTATIONS PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING AND 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING. REFER TO PART 3.4.1 DIAGRAM B OF THE NCC 2019 VOL.2 FOR SUB-FLOOR VENTILATION DETAILS.

**ROOF TRUSSES:**

ALL ROOF TRUSSES ARE TO BE CONSTRUCTED AND ASSEMBLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.

**STAIRS, LANDINGS & BALUSTRADES:**

1. STAIRS, STAIRWAYS AND BALUSTRADES TO COMPLY WITH NCC 2019 VOL.2: 3.9.1 AND 3.9.2. STAIR REQUIREMENTS: (OTHER THAN SPIRAL STAIRS)  
RISERS 190MM MAXIMUM, 115MM MINIMUM;  
GOING 355MM MAXIMUM; 240MM MINIMUM;  
PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
  2. PROVIDE NON-SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING WITH NON SLIP RESISTANCE TO EITHER P4 OR R11. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISERS. PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM.
  3. HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL. 865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.
  4. MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.
- CONTINUOUS HANDRAIL TO BE INSTALLED TO ONE SIDE OF STAIR COMPLIANT WITH PART 3.9.2.4 OF THE NCC 2019 VOL.2.

**LIGHTING:**

1. ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680.0-2009
2. ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH PART 3.12.5.5 OF THE NCC 2019 VOL.2.

**THRESHOLDS:**

IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900MM WIDE X 900MM LONG, WHICHEVER IS GREATER.

**INSULATION:**

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH APPROVED STAMPED PLANS WHICH HAVE BEEN ASSESSED BY AN ACCREDITED THERMAL ASSESSOR. PROVIDE INSULATION AND GLAZING SPECIFICATIONS AS PER THE THERMAL ASSESSMENT REPORT.

**TERMITE AND CORROSION PREVENTION:**

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO THE UNDERSIDE OF THE BUILDING AND THE PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK, AS PER AS.3660.1 PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES IN ACCORDANCE WITH NCC 2019 VOL.2 TABLE 3.3.5.6. PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH NCC 2019 VOL.2 TABLE 3.5.1.1.

**CORROSION:**

FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100M FROM SALTWATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.

**BUSHFIRE DESIGN INFORMATION:**

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE BUSHFIRE ASSESSMENT REPORT FOR THE SITE. THIS REPORT REFERS TO AS.3959.2018, WHICH SPECIFES THE NECESSARY CONSTRUCTION METHODS AND MATERIALS REQUIRED FOR EACH SITE. IF THE DRAWING SPECIFICATIONS DO NOT CORRELATE WITH THE BUSHFIRE REPORT - CONTACT THIS OFFICE IMMEDIATELY.

**STORM WATER AND DRAINAGE:**

- STORMWATER SHALL COMPLY WITH AS/NZS3500.3-2018
1. STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
  2. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS INSPECTION OPENINGS TO BE AT 9000mm CTRS AND AT EACH CHANGE OF DIRECTION.
    - PROVIDE 100mm DIA UPVC PIPES
    - PROVIDE 75mm DIA DOWNPIPES
    - PROVIDE A MINIMUM FALL GRADIENT OF 1:100
- BASE OF PIPES TO HAVE CRUSHED ROCK WITH A MINIMUM OF 50mm COVER.  
THE COVER TO UNDERGROUND STORM WATER DRAINS TO BE NOT LESS THAN:  
100mm UNDER SOIL  
50mm UNDER PAVED OR CONCRETE AREAS  
100mm UNDER UN-REINFORCED CONCRETE OR PAVED DRIVEWAYS  
75mm UNDER REINFORCED CONCRETE DRIVEWAYS
- ALL BOX GUTTERS TO BE A MINIMUM OF 100mm x 200mm UNLESS OTHERWISE SPECIFIED - 1:100 GRADE MINIMUM - ADJUST TO SUIT ON SITE.  
SEWER AND SEPTIC SYSTEMS TO BE IN ACCORDANCE WITH AS.3500  
ALL SURFACE WATER RUN-OFF MUST BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND DISCHARGED TO THE STORM WATER SYSTEM.
- THE BUILDER AND SUB-CONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWERS AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

**WATERPROOFING:**

WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS.3740-2010 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

**VENTILATION:**

1. MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE NCC 2019 VOL.2. PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICLEBOARD FLOORING OR 400MM WHERE IN TERMITE PRONE AREA
- SUB FLOOR VENTS TO PROVIDE A RATE OF 6000MM SQ. CLEAR VENTILATION PER 1000MM RUN OF EXTERNAL MASONRY WALL A

**SMOKE ALARMS:**

1. LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2014 AND PART 3.7.3.5 OF THE NCC 2019 AND SHALL BE HARD WIRED WITH BATTERY BACKUP.

**MASONRY:**

1. MASONRY TO COMPLY WITH AS3700-2018 OR AS4773.1-2015 & AS4773.2-2015
2. PROVIDE WALL TIES TO BRICKWORK AS PER 3.3.5.10 WALL TIES ON THE NCC 2019 VOL.2. GENERALLY WALL TIES TO BE 600MM CTRS IN EACH DIRECTION FOR CAVITY MASONRY, FOR MASONRY VENEER: 600X450 FOR 450 STUD WALLS AND 600X600 FOR 600 STUD WALLS AND WITHIN 300MM OF ARTICULATION JOINTS.
3. PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS 2200MM SQ. CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS
4. SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.

**OTHER GENERAL NOTES:**

(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE INTERCONNECTED WITH A BATTERY BACK-UP.

(EF) DENOTES THE LOCATION OF EXHAUST FANS. DUCT ALL EXHAUST FANS TO OUTSIDE AIR WHERE POSSIBLE - OR, AN EXHAUST FAN OF RATING 140/S MIN TO BE DISCHARGED INTO A VENTILATED ROOF SPACE WITH MIN 1000mm HORIZONTAL DUCT - IN ACCORDANCE WITH AS.1668. EXTERNAL DISCHARGE RATE MINIMUM 25l/S.

SANITARY COMPARTMENT DOORS MUST EITHER - OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE UNLESS A MINIMUM CLEARANCE OF 1200mm BETWEEN THE DOOR AND THE PAN IS ACHIEVED.

**SUB FLOOR:**

ALL SUB-FLOOR CONSTRUCTION AS PER ENGINEERS DESIGN & SPECIFICATIONS. REFER TO ENGINEERS DRAWINGS AND COMPUTATIONS.

**FLOORING:**

- FLOOR FINISHES AS SELECTED BY CLIENT.
- FB. TIMBER FLOOR BOARDS
- TILE. TILE FLOORING
- PC. POLISHED CONCRETE
- CP. CARPET
- CONC. EXPOSED CONCRETE TO CLIENTS SPECIFICATION

**WALL FRAMING:**

- FRAMING MUST BE IN ACCORDANCE WITH AS.1684.
- BOTTOM PLATE- 90x45 MGP10
- STUDS-90x45 MGP10 AT 450 CTRS
- JAMB STUDS- 2 / 90x45 MGP10
- NOGGINGS- 70x35 MGP10 AT 1350 CTRS MAX
- TOP PLATE- 2 / 90x45 MGP10
- LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

**ROOF FRAMING:**

- ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION.
- ROOF BATTENS: 38x75 F8 HW AT 330 CTRS (TILE)
- 38x75 F8 HW AT 900 CTRS (COLORBOND)
- 38x75 F8 HW AT 900 CTRS (KLIP-LOK)

**EXTERNAL FINISHES:**

EXTERNAL FINISHES AND COLOURS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS. ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AUSTRALIAN STANDARDS.

**INTERNAL WALL FINISHES:**

- 10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL WALLS)
- 10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL CEILINGS)
- CLIENT TO SELECT SQUARE FINISH OR CORNICE FOR EACH ROOM.

**WET AREAS:**

1. ALL WET AREAS TO COMPLY WITH PART 3.8.1.2 NCC 2019 VOL.2 AND AS3740-2010. WALL FINISHES SHALL BE WATER RESISTANT TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.
2. TIMBER FLOORS INCLUDING PARTICLEBOARD AND PLYWOOD IN AREAS ADJACENT TO BATHS AND SPAS AND OUTSIDE SHOWER AREAS TO BE WATERPROOFED AS PER PART 3.8.1.2 NCC 2019 VOL.2 AND AS3740-2010.

**WINDOWS:**

- ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS.
- WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES. BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY.
- WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY.
- BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.
- ALL GLAZING MUST COMPLY WITH AS.1288
- "OBS" DENOTES A WINDOW WHICH IS OBSCURED, FROSTED OR TRANSLUCENT - CONFIRM WITH CLIENT UNLESS OTHERWISE STATED.
- "CHK" DENOTES A WINDOW MEASUREMENT WHICH NEEDS TO BE CONFIRMED ONSITE BY THE BUILDER AND WINDOW MANUFACTURER PRIOR TO ORDERING.
- "a.f." DENOTES A MEASUREMENT ABOVE THE FINISHED FLOOR LEVEL.
- "REST" DENOTES A WINDOW WITH RESTRICTED OPENABILITY OF 100mm MAX
- "SCRN" DENOTES A WINDOW WHICH REQUIRES A FIXED SCREEN FROM SILL TO 1.7m a.f.1 AT 25% VISIBILITY MAX AND IN ACCORDANCE WITH STANDARD B22 OF RESCODE.
- ALL WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE UNLESS OTHERWISE STATED.

# AREA SCHEDULE:

GROUND FLOOR AREA:	169.5 m <sup>2</sup>
GARAGE:	35.3 m <sup>2</sup>
PORCH:	5.2 m <sup>2</sup>
<b>TOTAL AREA:</b>	<b>25.8 SQ 210.0 m<sup>2</sup></b>
POS:	88.9 m <sup>2</sup>
SITE AREA:	350.0 m <sup>2</sup>
SITE COVERAGE:	60.0% 210.0 m <sup>2</sup>
SITE PERMEABILITY:	33.9% 118.8 m <sup>2</sup>

**DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT**

**FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT**

**SIDE AND REAR FENCING TO BE 1.8m IN HEIGHT, BE LAPPED AND CONSTRUCTED WITH LAPPED TIMBER PALINGS WITH EXPOSED POSTS ON BOTH SIDES**

**ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019**

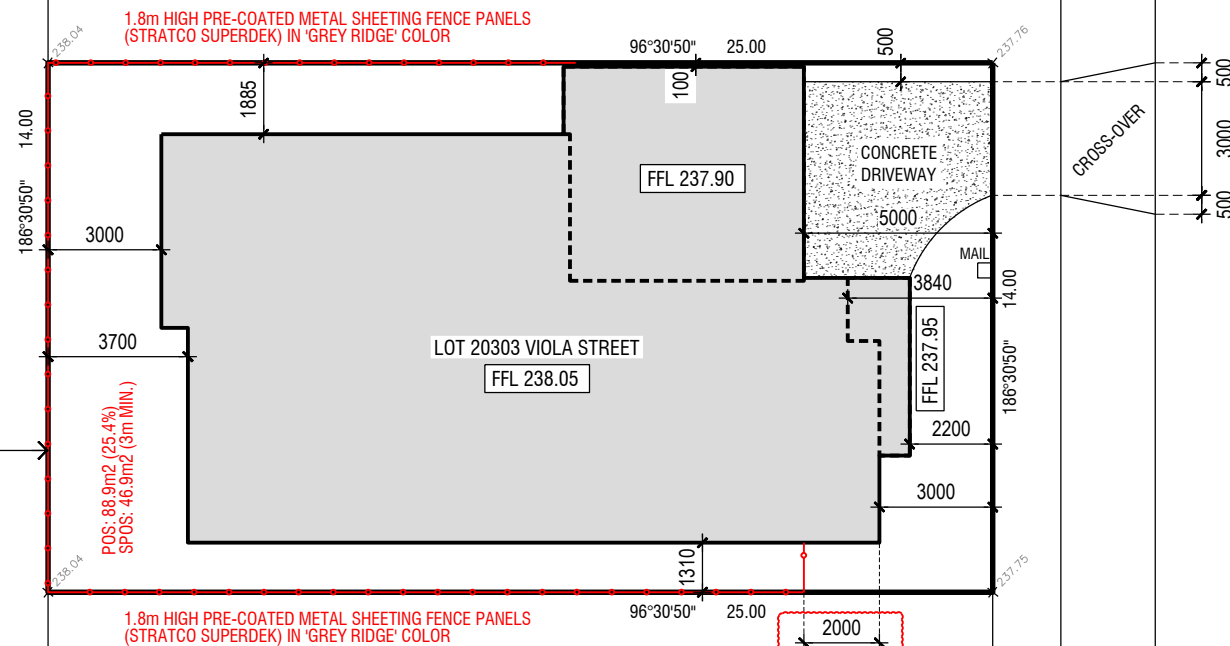
<b>PLANNING &amp; DESIGN P/L</b> 31 Enfield Ave Preston 3072 T:9018 1529 E: admin@planninganddesign.com.au	<b>Revisions</b> REV- 17.04.2023 ISSUE FOR TENDER, NOT CONSTRUCTION REV- 11.07.2023 ISSUE FOR CONSTRUCTION	<b>P L A N N I N G &amp; DESIGN</b>	DATE: APR 2023 SCALE: 1:100@A3 DRAWN BY: J.M CHECKED BY: C.M PROJECT No: 7637
	<b>TITLE PAGE</b>		
DO NOT SCALE THIS DRAWING. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.		<b>NEW HOUSE</b> LOT 20303 VIOLA STREET, DONNYBROOK	
THESE PLANS REMAIN THE PROPERTY OF PLANNING AND DESIGN AND ARE SUBJECT TO COPYRIGHT REGULATIONS		<b>A01 REV-</b>	

LOT 20305  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 313m2

LOT 20304  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 313m2

FUTURE SUBDIVISION  
VACANT BLOCK (AS OF 17.07.2023)

1.8m HIGH PRE-COATED METAL SHEETING FENCE PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR



1.8m HIGH PRE-COATED METAL SHEETING FENCE PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR

2000  
WING FENCE RETURN

LOT 20302  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 263m2

LOT 20301  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 313m2

VIOLA STREET

A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

ALL SETBACKS ARE TAKEN TO TITLE BOUNDARIES

SIDE AND REAR FENCING TO BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR  
DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT  
FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

**LEGEND**

	BRICKWORK
	BRICK-VENEER WALL
	STRUCTURAL BLOCKWORK
	RETAINING WALL - REF ENG
	TIMBER STUD FRAMING (PROVIDE 6mm FIBRE CEMENT SHEETING ON ALL UPPER FLOORS)
	400w x 150d VALLEY GUTTER

AJ.	ARTICULATION JOINTS
BG	300w x 150d BOX GUTTER
RH	RAINWATER HEAD
dp	DOWN PIPE
dpS	DOWN PIPE WITH SPREADER
FW	FLOOR WASTE
	EXHAUST FAN TO EXTERNAL AIR 10m <sup>3</sup> /Hr
	SMOKE ALARM

HWS	HOT WATER SERVICE
LOH	LIFT OFF HINGES
TILE.	SELECTED TILE FLOORING
FB.	SELECTED TIMBER FLOORING
CP.	SELECTED CARPET
TD.	SELECTED TIMBER DECKING
BEAM.	BEAM TO ENGINEERS DESIGN & SPECIFICATION
KL.	KLIP-LOK ROOFING AT 2° MIN PITCH
TR.	TILE ROOFING PITCH VARIES



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Revisions	
REV- 17.04.2023	ISSUE FOR TENDER, NOT CONSTRUCTION
REV- 11.07.2023	ISSUE FOR CONSTRUCTION

PLANNING & DESIGN

DATE	SCALE	DRAWN BY	CHECKED BY	PROJECT No.
APR 2023	1:200@A3	J.M	C.M	7637

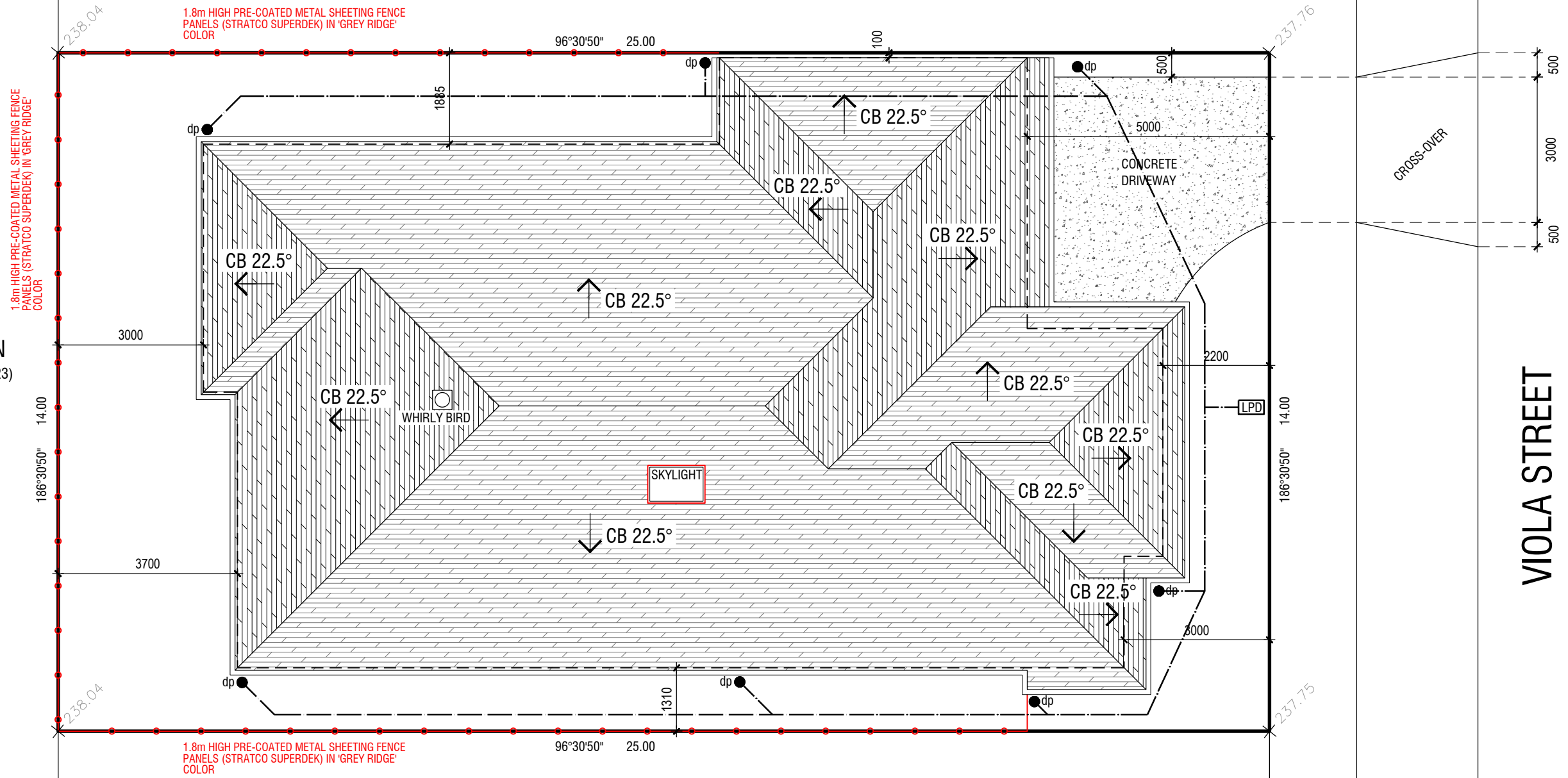
SETOUT PLAN

NEW HOUSE  
LOT 20303 VIOLA STREET,  
DONNYBROOK

**A02**  
REV-

LOT 20304  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 313m<sup>2</sup>

LOT 20302  
VACANT BLOCK (AS OF 17.07.2023)  
SIZE: 263m<sup>2</sup>



1.8m HIGH PRE-COATED METAL SHEETING FENCE  
PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE'  
COLOR

1.8m HIGH PRE-COATED METAL SHEETING FENCE  
PANELS (STRATCO SUPERDEK) IN 'GREY RIDGE'  
COLOR

FUTURE SUBDIVISION  
VACANT BLOCK (AS OF 17.07.2023)

VIOLA STREET

SIDE AND REAR FENCING TO BE CONSTRUCTED OF  
1.8m HIGH PRE-COATED METAL SHEETING PANELS  
(STRATCO SUPERDEK) IN 'GREY RIDGE' COLOR

DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30  
DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS  
OF THE ISSUE OF THE OCCUPANCY PERMIT

A MINIMUM FREEBOARD OF 150MM  
IS REQUIRED BETWEEN THE SLAB  
AND THE FINISHED GROUND. THE  
GROUND MUST BE GRADED TO  
SLOPE AWAY NOT LESS THAN 50MM  
OVER THE FIRST 1M

- LEGEND**
- TIMBER STUD FRAMING
  - BRICKWORK
  - HEBEL WALL SYSTEM
  - VG 400w x 150d VALLEY GUTTER

- AJ. ARTICULATION JOINTS
- BG 300w x 150d BOX GUTTER
- RH RAINWATER HEAD
- dp DOWN PIPE
- dpS DOWN PIPE WITH SPREADER
- FW FLOOR WASTE
- EXHAUST FAN TO EXTERNAL  
AIR 10m<sup>3</sup>/Hr
- SMOKE ALARM

- HWS HOT WATER SERVICE
- LOH LIFT OFF HINGES
- TILE. SELECTED TILE FLOORING
- FB. SELECTED TIMBER FLOORING
- CP. SELECTED CARPET
- TD. SELECTED TIMBER DECKING
- BEAM. BEAM TO ENGINEERS DESIGN & SPECIFICATION
- KL. KLIP-LOK ROOFING AT 2° MIN PITCH
- TR. TILE ROOFING PITCH VARIES



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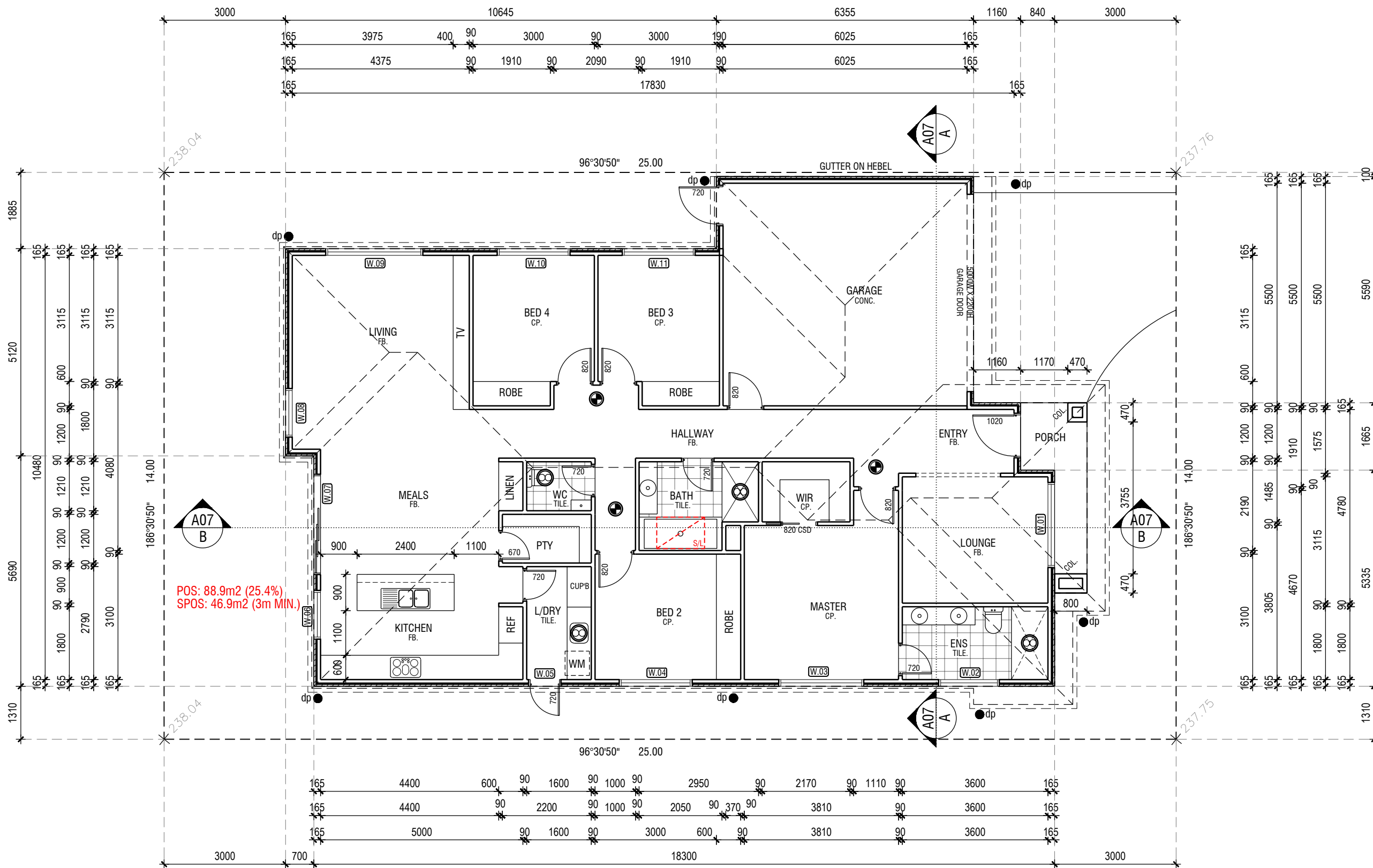
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SITE/ ROOF PLAN

NEW HOUSE  
LOT 20303 VIOLA STREET,  
DONNYBROOK

**A03**  
REV-



DRIVEWAYS MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

FENCING MUST BE CONSTRUCTED WITHIN 30 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT

A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

- LEGEND**
- TIMBER STUD FRAMING
  - BRICKWORK
  - HEBEL WALL SYSTEM
  - VG 400w x 150d VALLEY GUTTER

- AJ. ARTICULATION JOINTS
- BG 300w x 150d BOX GUTTER
- RH RAINWATER HEAD
- dp DOWN PIPE
- dpS DOWN PIPE WITH SPREADER
- FW FLOOR WASTE
- EXHAUST FAN TO EXTERNAL AIR 10m<sup>3</sup>/Hr
- SMOKE ALARM

- HWS HOT WATER SERVICE
- LOH LIFT OFF HINGES
- TILE. SELECTED TILE FLOORING
- FB. SELECTED TIMBER FLOORING
- CP. SELECTED CARPET
- TD. SELECTED TIMBER DECKING
- BEAM. BEAM TO ENGINEERS DESIGN & SPECIFICATION
- KL. KLIP-LOK ROOFING AT 2° MIN PITCH
- TR. TILE ROOFING PITCH VARIES



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GROUND FLOOR PLAN

NEW HOUSE  
 LOT 20303 VIOLA STREET,  
 DONNYBROOK

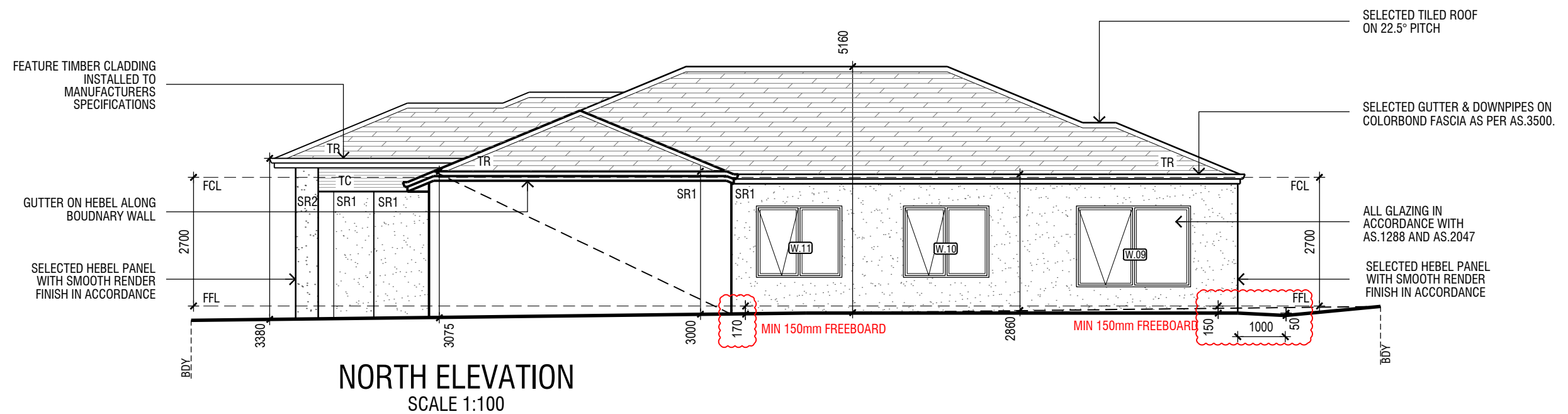
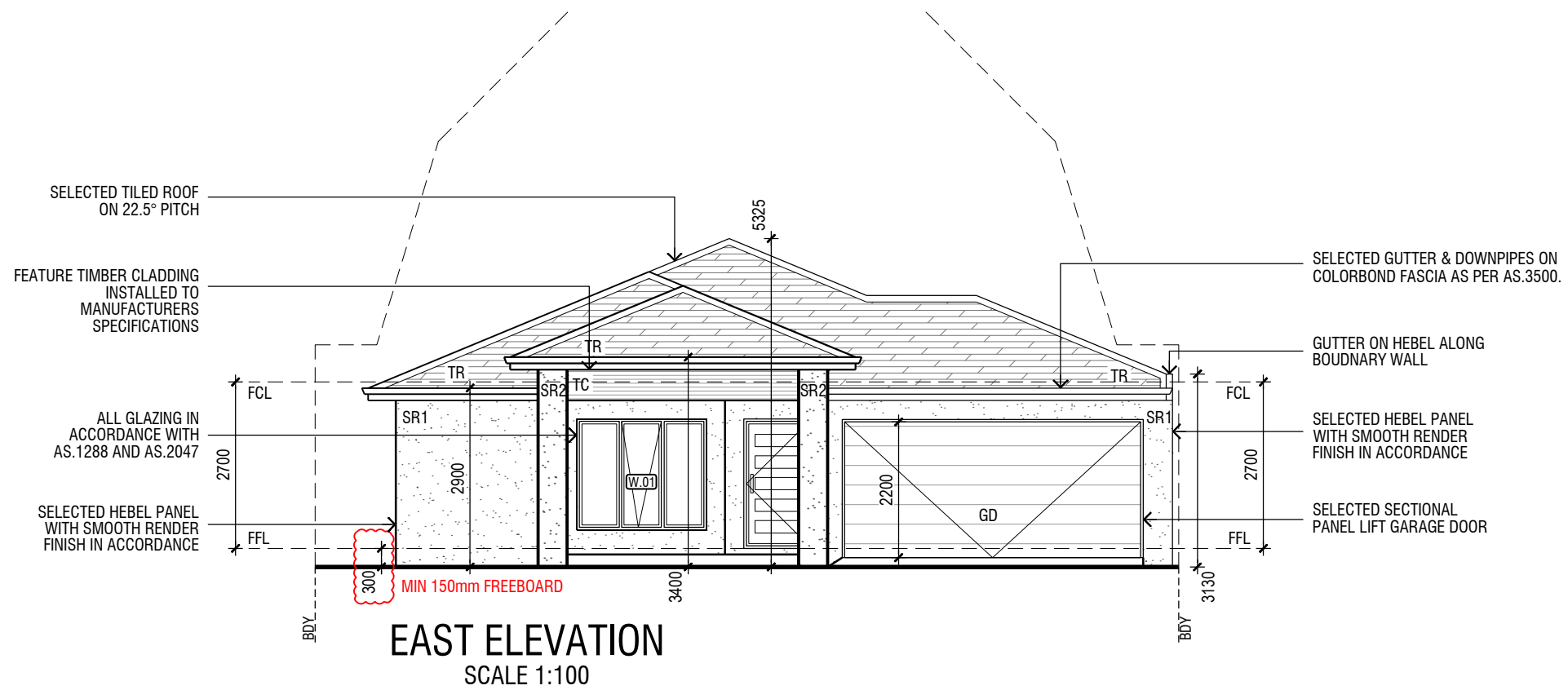
**A04**  
 REV-

**MATERIAL SCHEDULE:**

- SR1 SMOOTH RENDER FINISH
- SR2 SMOOTH RENDER FINISH
- TC TIMBER LOOK CLADDING IN STAINED OR SIMILAR FINISH
- GD SELECTED SECTIONAL GARAGE DOOR
- TP 1.8m HIGH TIMBER PAILING FENCE
- TR SELECTED TILED ROOF AT 22.5 DEGREE PITCH

ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH

COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT



ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019

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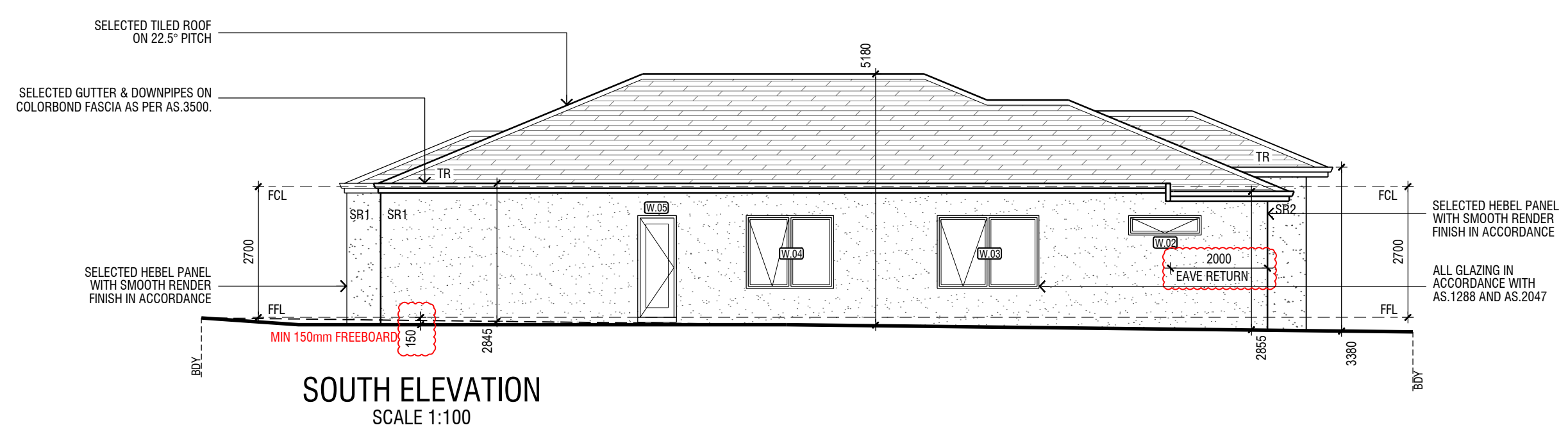
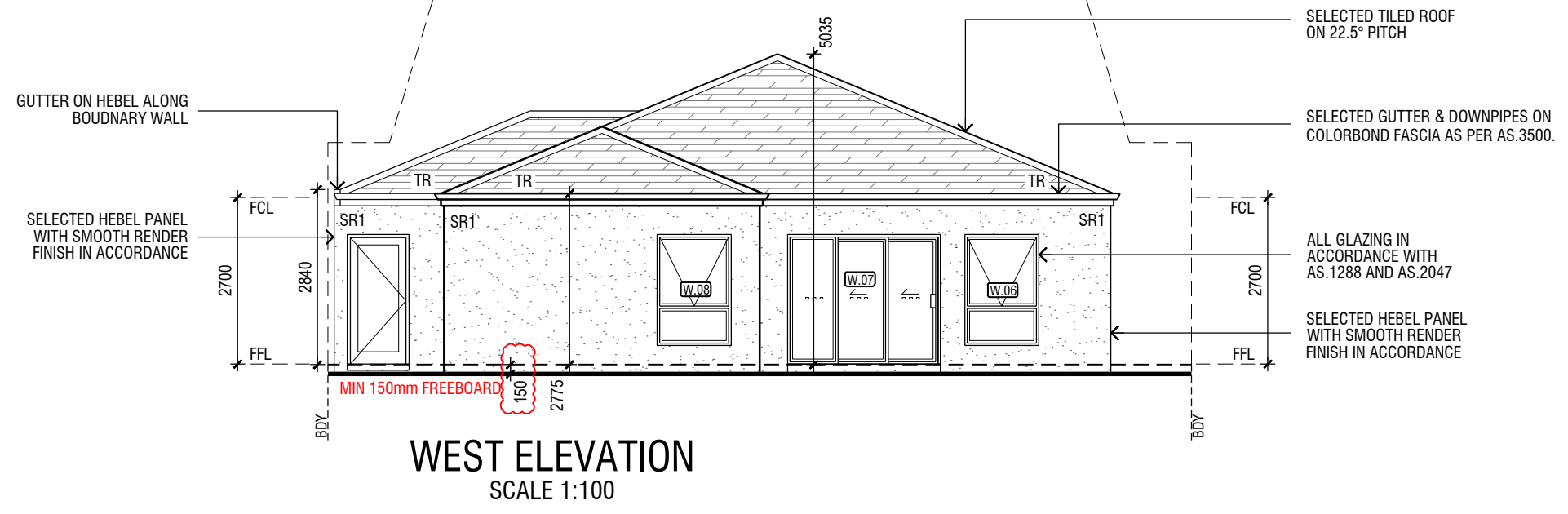
ELEVATIONS

NEW HOUSE  
LOT 20303 VIOLA STREET,  
DONNYBROOK

**A05**  
REV-

**MATERIAL SCHEDULE:**

SR1	SMOOTH RENDER FINISH
SR2	SMOOTH RENDER FINISH
TC	TIMBER LOOK CLADDING IN STAINED OR SIMILAR FINISH
GD	SELECTED SECTIONAL GARAGE DOOR
TP	1.8m HIGH TIMBER PAILING FENCE
TR	SELECTED TILED ROOF AT 22.5 DEGREE PITCH
ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH	
COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT	



ALL PLIABLE MEMBRANE MUST COMPLY WITH AQS42001.1 AND TO BE INSTALLED WITHIN ACCORDANCE WITH AS4200.2 AS PER 3.8.7.2 NCC BCA FOR CONDENSATION MANAGEMENT. MUST ALL BE TO ACCORDANCE TO NCC 2019

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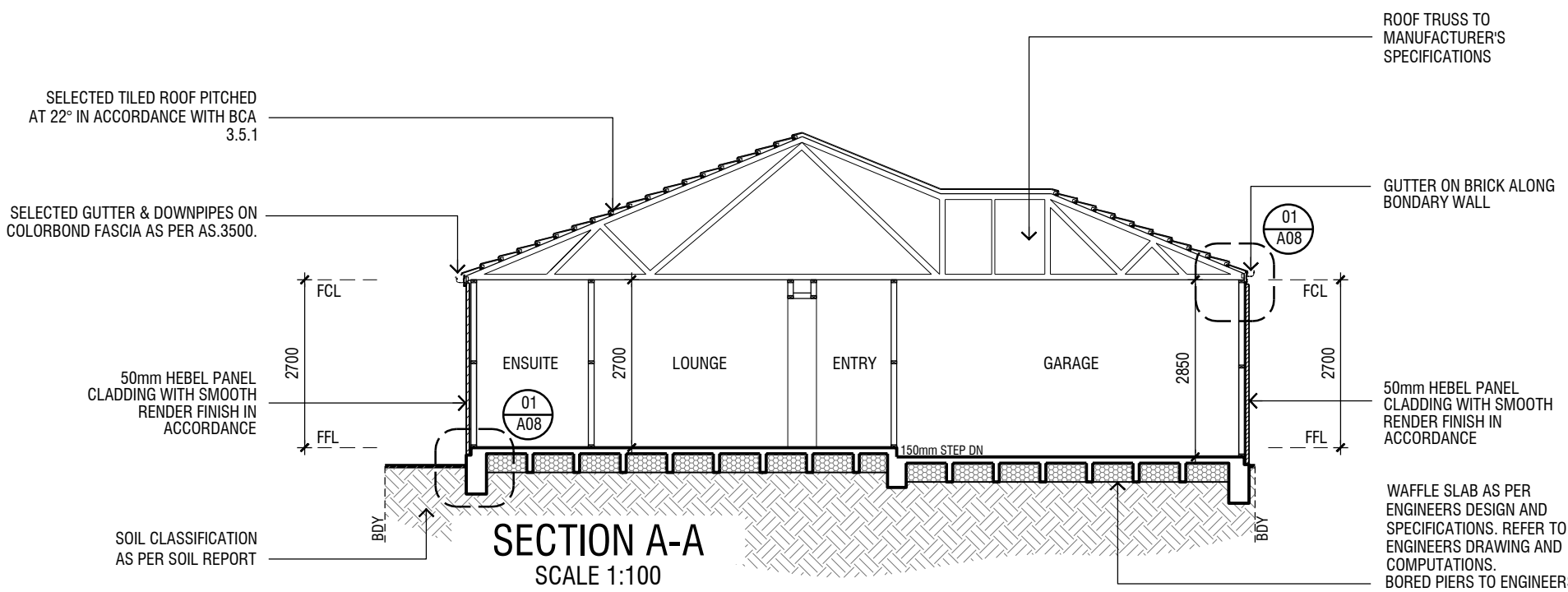
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ELEVATIONS

NEW HOUSE  
 LOT 20303 VIOLA STREET,  
 DONNYBROOK

**A06**  
 REV-

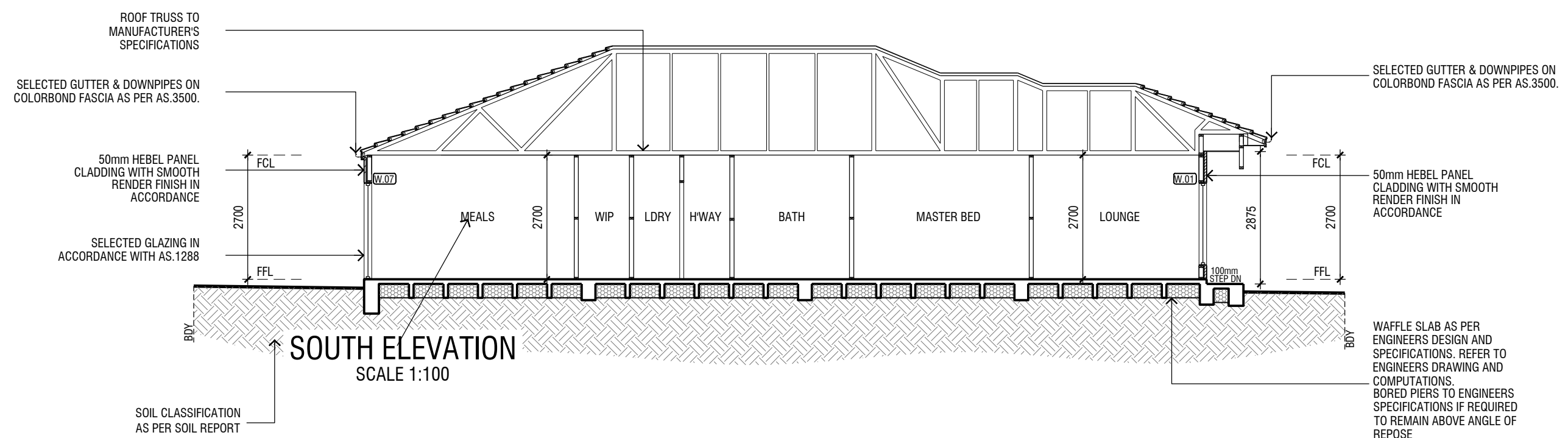


**MATERIAL SCHEDULE:**

SR1	SMOOTH RENDER FINISH
SR2	SMOOTH RENDER FINISH
TC	TIMBER LOOK CLADDING IN STAINED OR SIMILAR FINISH
GD	SELECTED SECTIONAL GARAGE DOOR
TP	1.8m HIGH TIMBER PAILING FENCE
TR	SELECTED TILED ROOF AT 22.5 DEGREE PITCH

ALUMINIUM WINDOWS THROUGH-OUT IN COLORBOND MONUMENT FINISH

COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES IN COLORBOND MONUMENT THROUGH-OUT



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A MINIMUM FREEBOARD OF 150MM IS REQUIRED BETWEEN THE SLAB AND THE FINISHED GROUND. THE GROUND MUST BE GRADED TO SLOPE AWAY NOT LESS THAN 50MM OVER THE FIRST 1M

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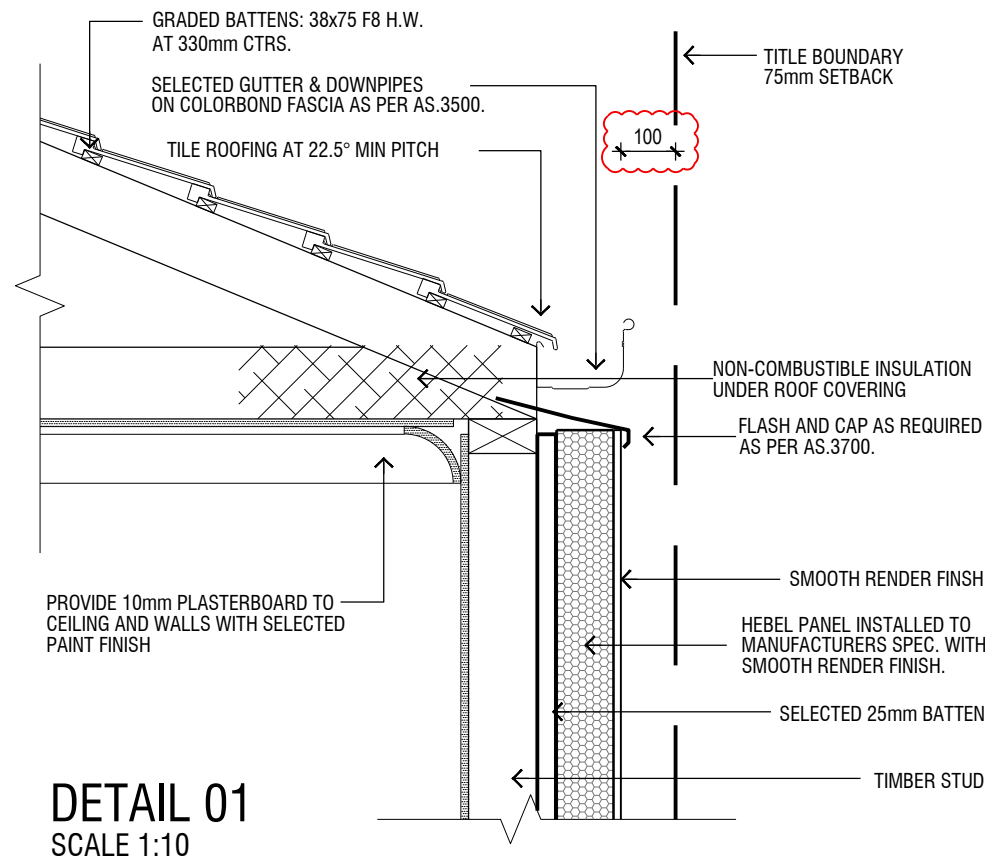


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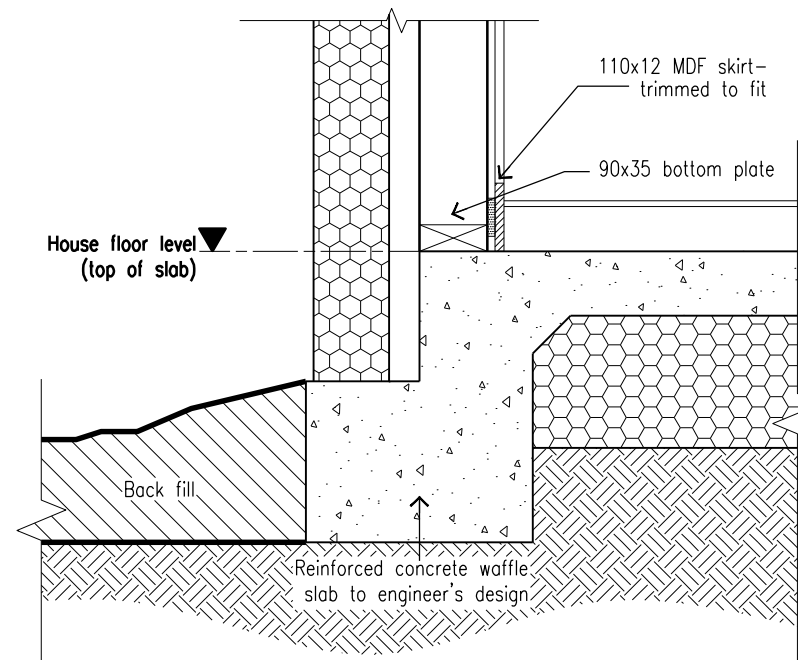
SECTIONS

NEW HOUSE  
LOT 20303 VIOLA STREET,  
DONNYBROOK

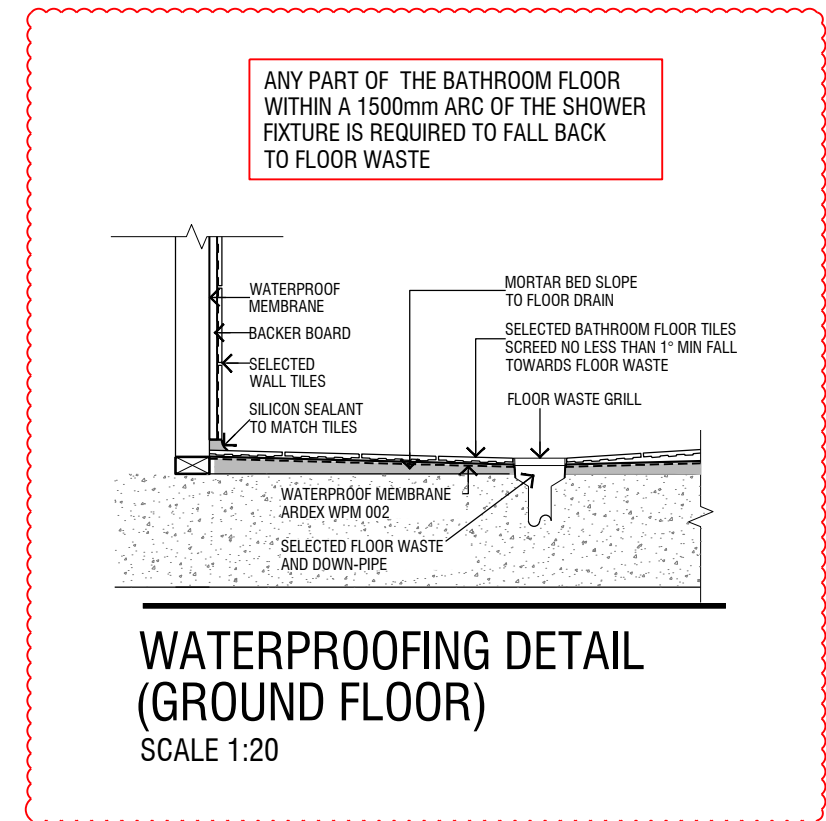
**A07**  
REV-



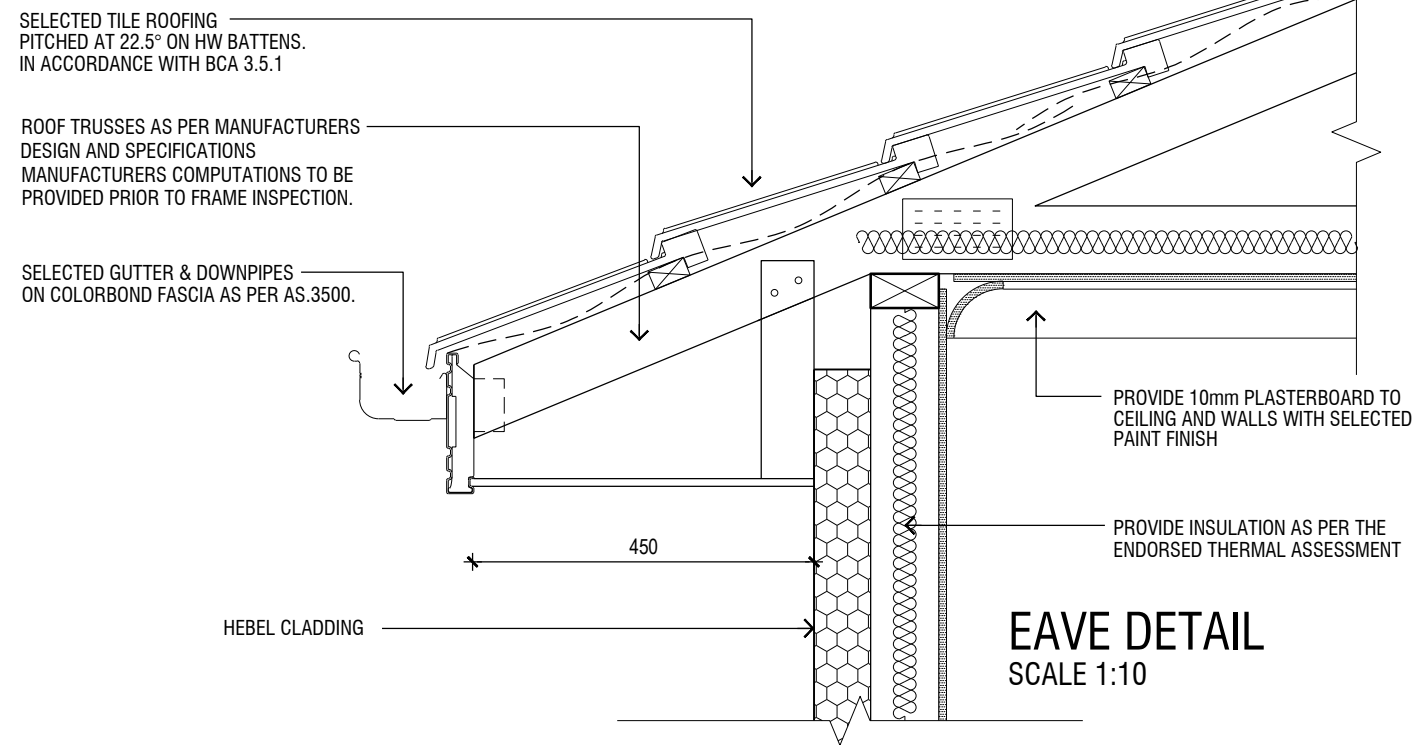
**DETAIL 01**  
SCALE 1:10



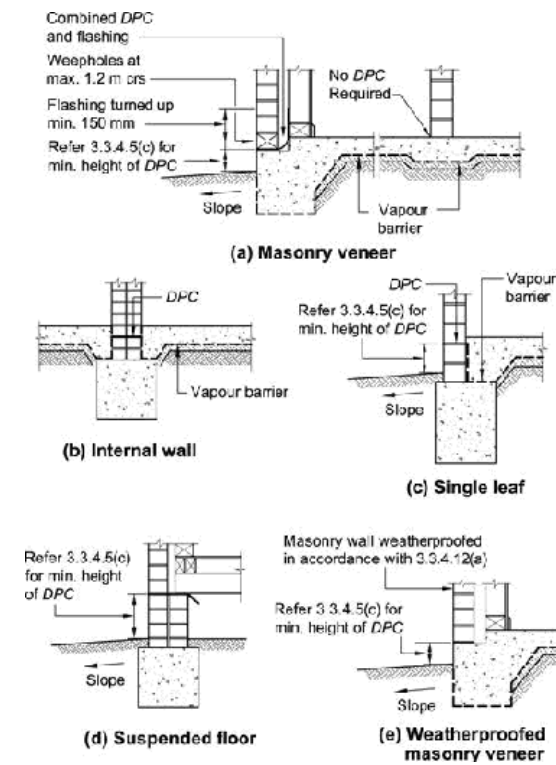
**DETAIL 02**  
SCALE 1:10



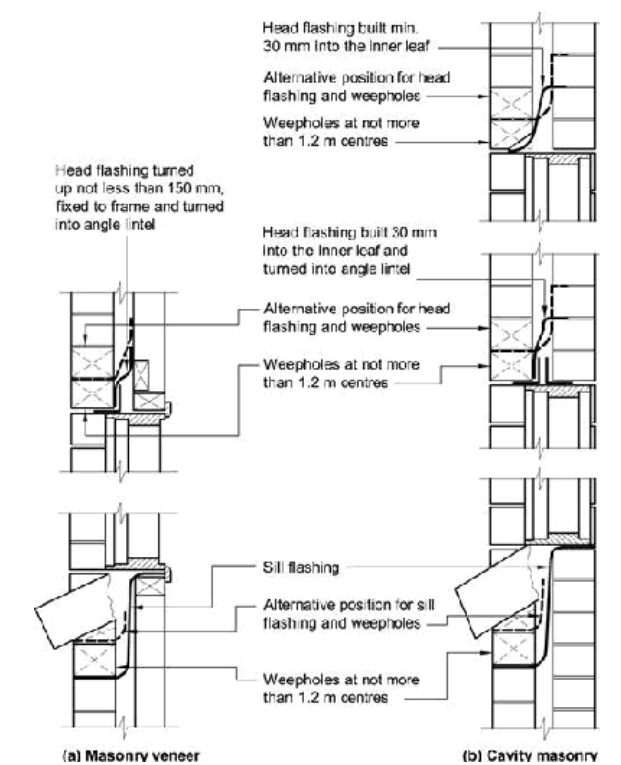
**WATERPROOFING DETAIL (GROUND FLOOR)**  
SCALE 1:20



**EAVE DETAIL**  
SCALE 1:10



**TYPICAL DETAILS** BCA FIGURE 3.3.4.1  
LOCATION OF DPCs AND FLASHINGS IN SUB-FLOOR STRUCTURES



**TYPICAL DETAILS** BCA FIGURE 3.3.4.5  
INSTALLATION OF SILL AND HEAD FLASHINGS

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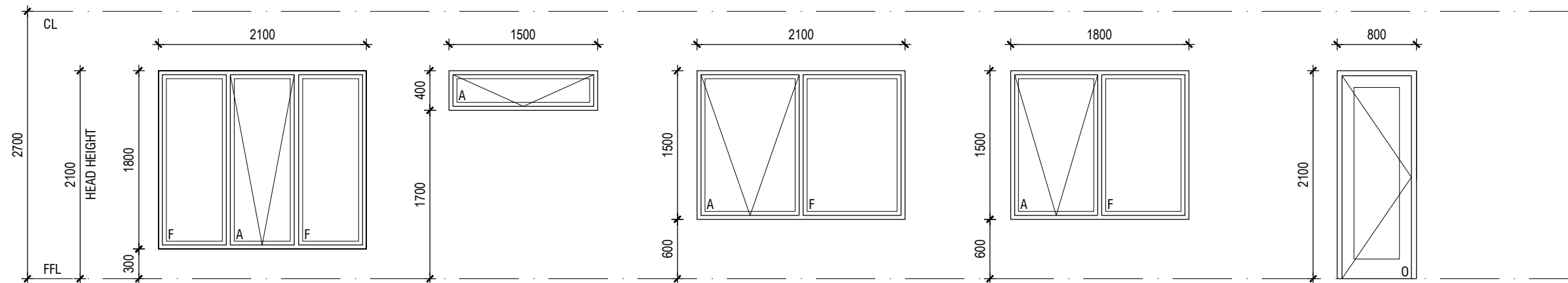
DETAILS

NEW HOUSE  
 LOT 20303 VIOLA STREET,  
 DONNYBROOK

**A08**  
REV-

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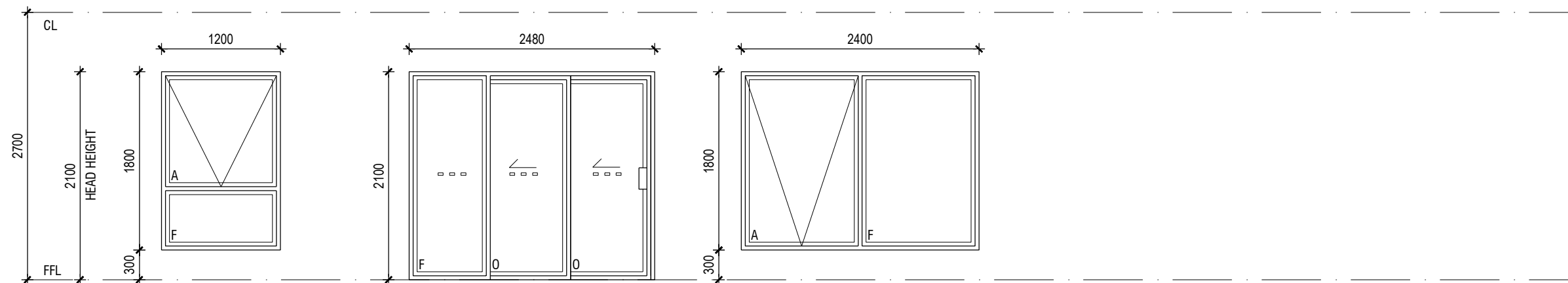
**LOUNGE**  
W.01  
AWNING WINDOW  
ALUMINUM FRAMED

**MASTER ENSUITE**  
W.02  
AWNING WINDOW  
ALUMINUM FRAMED  
HIGHLIGHT WINDOW

**MASTER BED**  
W.03  
AWNING WINDOW  
ALUMINUM FRAMED

**BED 2, BED 4, BED 3**  
W.04, W.10, W.11  
AWNING WINDOW  
ALUMINUM FRAMED

**LAUNDRY**  
W.05  
GLAZED HINGED DOOR  
ALUMINUM FRAMED  
SIDE HUNG



**KITCHEN, LIVING**  
W.08, W.09  
AWNING WINDOW  
ALUMINUM FRAMED

**MEALS**  
W.07  
GLAZED SLIDING DOOR  
ALUMINUM FRAMED  
2 SLIDING PANELS, 1 FIXED PANEL

**LIVING**  
W.09  
AWNING WINDOW  
ALUMINUM FRAMED

NOTE:  
WINDOW MEASUREMENTS INDICATED MAY VARY FROM MANUFACTURED SIZES.  
BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER  
WITH STANDARD SIZES THAT MATCH THE ABOVE MEASUREMENTS  
WITHIN CLOSE PROXIMITY  
BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CONFLICT  
WITH EAVE DETAILS PRIOR TO ORDERING ROOF STRUCTURE  
WINDOW SIZES TO BE VERIFIED ON SITE PRIOR TO PLACING  
ORDER WITH MANUFACTURER  
ANY DISCREPANCIES PLEASE CONTACT OFFICE IMMEDIATELY

ALL GLAZING MUST COMPLY WITH AS 1288 AND ALL INSTALLATION MUST COMPLY WITH AS 2047  
'OBS' DENOTES A WINDOW WHICH IS OBSCURED, FROSTED OR TRANSLUCENT - CONFIRM WITH CLIENT  
'CHK' DENOTES A MEASUREMENT WHICH NEEDS TO BE CONFIRMED ON SITE PRIOR TO ORDERING  
'a.f.l.' DENOTES A MEASUREMENT ABOVE THE FINISHED FLOOR LEVEL.  
'REST' DENOTES A WINDOW WHICH HAS RESTRICTED OPENABILITY OF 120mm MAX  
WINDOW AND DOOR ELEVATIONS ARE DRAWN AS VIEWED FROM THE OUTSIDE.  
REFER TO APPROVED ENERGY REPORT FOR REQUIREMENTS

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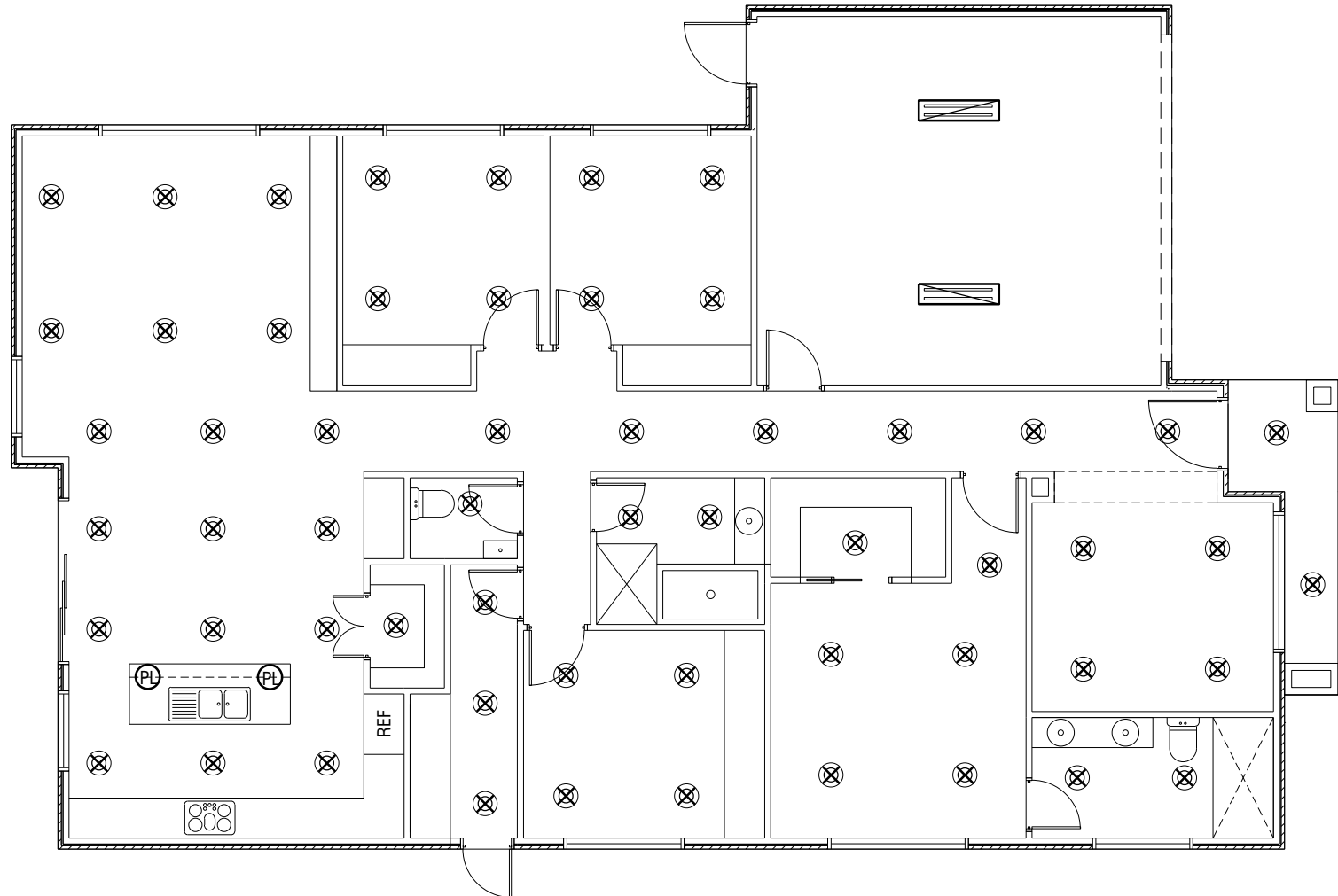
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
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WINDOW SCHEDULE

NEW HOUSE  
LOT 20303 VIOLA STREET,  
DONNYBROOK

**A09**  
REV-



-  SMOKE DETECTOR
-  EXHAUST FAN TO EXTERNAL  
AIR 10m<sup>3</sup>/ Hr
-  EXTERIOR FLOOD LIGHT - 150 WATT MAX
-  LOW VOLTAGE IC-4 DOWN LIGHT - 10 WATT MAX
-  WALL MOUNTED LIGHT - 20 WATT MAX
-  PENDANT LIGHT POINT - 25 WATT MAX
-  FLUORESCENT LIGHT - 50 WATT MAX

**NOTES:**

- PROVIDE LIGHT AND POWER WITHIN ROOF SPACE NEAR ACCESS POINT FOR HEATER AND FUTURE COOLING UNIT. CONFIRM HEATER LOCATION.
- PROVIDE POWER FOR DUCTED VACUUM SYSTEM, INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- PROVIDE INSTALLATION OF ALARM UNIT AND SENSORS, INCLUDING POWER AND PHONE CONNECTION AT MAIN UNIT - LOCATION TO BE ADVISED BY CLIENT.
- PROVIDE SEPARATE CIRCUITS FOR KITCHEN APPLIANCES,

HEATING AND COOLING UNITS, GARAGE POWER POINTS, POOL EQUIPMENT, OUTDOOR POWER POINTS, LIGHTING AND LAUNDRY.

- SUPPLY AND INSTALL TV ANTENNA TO MANUFACTURERS SPECIFICATION WITH CONNECTION TO ALL NOMINATED POINTS. INSURE POWER POINT AT EACH TV ANTENNA LOCATION.
- SUPPLY POWER POINT TO DISHWASHER LOCATION, COOKTOP, WALL OVEN, RANGEHOOD, FRIDGE RECESS, WASHING MACHINE AND APPLIANCE CUPBOARD LOCATIONS.

- PROVIDE POWER FOR HOT WATER SERVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE POWER FOR WATER TANK PUMP SYSTEMS AT TANK LOCATION.
- PROVIDE POWER TO THE GARAGE CEILING FOR AUTOMATIC DOOR UNIT AND ROOF TOP STORAGE AREA.
- PROVIDE POWER FOR SPA BATH PUMP.

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**ELECTRICAL PLANS**

**NEW HOUSE**  
 LOT 20303 VIOLA STREET,  
 DONNYBROOK

**E01**  
REV-

### LIGHTING POWER DENSITY

CALCULATIONS BASED ON GENERAL WATTAGES AND NUMBER OF INDIVIDUAL INTERNAL LIGHTING FIXTURES AS PER THE ENDORSED ELECTRICAL PLAN.

TOTAL HABITABLE AREA (5w/m2): <small>(TOTAL BASEMENT, GROUND AND FIRST FLOORS)</small>	169.5 M <sup>2</sup>
MAXIMUM LIGHTING POWER:	847.5 WATTS
TOTAL HABITABLE LIGHTING POWER:	600.0 WATTS
TOTAL PORCH, ALFRESCO (4w/m2)	
TOTAL NON-HABITABLE AREA:	5.2 M <sup>2</sup>
MAXIMUM LIGHTING POWER:	20.8 WATTS
TOTAL NON-HABITABLE LIGHTING POWER:	20.0 WATTS
TOTAL GARAGE (3w/m2)	
TOTAL NON-HABITABLE AREA:	35.3 M <sup>2</sup>
MAXIMUM LIGHTING POWER:	105.9 WATTS
TOTAL NON-HABITABLE LIGHTING POWER:	100.0 WATTS

